

TOWN OF SHREWSBURY
FACILITIES CONDITION ASSESSMENT
OF
TOWN BUILDINGS

FINAL REPORT

June 01, 2016

**Shrewsbury
Floral St. School**

G | R | L | A

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Executive Summary

Gorman Richardson Lewis Architects and our consultants were retained by the Town of Shrewsbury to provide a comprehensive study of 10 Town-owned buildings with the goal to provide key information for each building outlining the condition of:

- Site and Landscape Elements
- Architectural Elements / Building Envelope Elements
- Structural Components
- Mechanical, Plumbing, Electrical and Fire Protection Systems / HAZMAT

This Final Report includes summaries of each building for the disciplines noted above, prioritization of the recommended repairs or replacement of any element or system and estimated costs for each on a 1-year, 5-year and 10-year basis to assist the town in its planning for capital improvements.

The architectural/ engineering team consists of:

- Waterman Associates – Site / Landscape
- Gorman Richardson Lewis Architects – Architecture and Building Envelope
- Structures North – Structural (as applicable)
- Weston and Sampson - Mechanical, Plumbing, Electrical and Fire Protection Systems / HAZMAT

The town-owned buildings addressed in the Report include:

	Building	Location	Size	Year	Additions	Renovations
1	Shrewsbury High School	64 Holden Street	296,000 sf	2002		
2	Oak Middle School	45 Oak Street	182,101 sf	1957	1981	2004
3	Floral Street Elem. School	57 Floral Street	94,000 sf	1997		
4	Spring Street Elem. School	123 Spring Street	37,200 sf	1967	1995 & 2000: 6 Modular Class Rooms	
5	Calvin Coolidge Elem. School	1 Florence Street	48,600 sf	1927	1940, 1969, & 1995: 4 Modular Class Rooms	1985

6	Walter J. Paton School	58 Grafton Street	39,103 sf	1950	2000: 3 Modular Class Rooms	
7	Shrewsbury Town Hall	100 Maple Avenue	36,319 sf	1966	1997	
8	Shrewsbury Senior Center	98 Maple Avenue	11,400 sf	2000		
9	Shrewsbury Fire Headquarters	11 Church Road	16,304 sf	2007		
10	Shrewsbury Police Station	106 Maple Avenue	17,485 sf	1971	1996	1996

Condition Assessment Matrix / Methodology

The objective of the Condition Assessment Matrix included in each section of the Report, is to provide a detailed summary of each condition/ deficiency observed regarding the aforementioned disciplines for each building, a level of priority as to when the condition should be addressed, a time-range relating to the remaining service life of the item, a commentary describing action (if any) to be taken, an approximate quantity and an estimate of cost to implement the recommended action:

- **Issue #:** Each observed condition is assigned an issue number relating to the floor level where it is located (*eg: 1F-17 = First Floor – Item 17*)
- **Discipline:** one of the 6 primary areas of concentration:
 - Architecture (Arch)
 - Building Envelope (Envelope)
 - Site/ Civil
 - Structural
 - Mechanical-Electrical-Plumbing-Fire Protection (MEP/FP)
 - Hazardous Materials (HazMat)
- **Location:** Specific room or area where the item is located in the building floor plan
- **System:** one of the 12 categories describing the type of building component being addressed (wall, ceiling, flooring, etc.)
- **Description:** detailed description of each observation
- **Photo #:** address of photo pertaining to the specific issue (as applicable)
- **PlanGrid Report #:** number of the PlanGrid Report included on the flash drive at the back of the binder, typically containing a photo of the item

- **Priority:** Low/ Medium/ High: a level of priority for addressing each condition
- **Service Life:** anticipated remaining service life of the component observed
- **Commentary:** Recommended action to be taken (if any)
- **Quantity:** quantity of the component/ system to be addressed and acted upon (*eg: 7,500 sf, 1 LS (Lump Sum), etc.*), used as a basis for the cost estimate
- **Cost Estimate:** estimate of anticipated construction cost to implement the recommended action within the timeframe relating to the level of priority and service life (including Contractors' General Conditions, fees, etc. and escalation factors relative to 2016 dollars).

GRLA and our consultants want to thank Bob Cox and the Town of Shrewsbury for the opportunity to work with you on this Facilities Condition Assessment. After having reviewed the information and findings herein, please contact us with any questions or follow-up information required.

Sincerely,

GORMAN RICHARDSON LEWIS ARCHITECTS, INC.



Scott Richardson, AIA, LEED AP

Principal

1. Building Summary / Narratives

a. Waterman Design Associates

i. Site & Landscape

b. Gorman Richardson Lewis Architects (GRLA)

i. Architecture - Interior

ii. Building Envelope

c. Weston & Sampson

i. MEP/FP/Hazmat

2. Cost Matrices Summary

a. Waterman Design Associates

i. Site & Landscape

b. Gorman Richardson Lewis Architects (GRLA)

i. Architecture - Interior

ii. Building Envelope

c. Weston & Sampson

i. MEP/FP/Hazmat

Appendix A: Floor Plans

Appendix B: Plan Grid Reference

Overview:

In this section of the Facilities Condition Assessment Report, Waterman Design Associates presents a summary of observations regarding the condition of the Floral Street School site, including commentary and recommendations for action to be taken. The observations are organized according to the following “categories” in order to address the various components comprising the existing condition of the Floral Street School site:

1. General Site Conditions
2. Vehicular Entrances and Circulation
3. Parking Location, Arrangement, and Quantity
4. Pedestrian Circulation
5. Pedestrian Accessibility and MAAB Compliance
6. Loading Docks and Service Areas
7. Courtyards and Other Exterior Student Congregation Areas
8. Site Lighting For Building, Vehicular and Pedestrian Areas
9. Site Furnishings
10. Site Vegetation

General Site Conditions:

1. Observations:

- i. The Floral Street School is located on Floral Street adjacent to single-family neighborhoods to the west, east and south and mature woodland to the north, with more single-family residences beyond. The residential properties are all buffered by undeveloped woodlands and/or topography. The portion of the site populated by the existing building slopes to the north, the southern portion of the site has access to the basement at ground level. The site contains the school buildings along with the associated vehicular and pedestrian circulation systems, a play area and a small athletic field striped for youth soccer.

Vehicular Entrances and Circulation:

B.

1. Observations:

- i. There is one main vehicular access drive on Floral Street, and one secondary access drive on Honeysuckle Lane. Bus drop off for the school occurs along main entrance at the southern side of the building. Buses enter from Floral Street, release students at the main entrance, then exit back onto Floral Street; Bus pick-up occurs in the same fashion. Parents dropping off students enter from the access drive on Honeysuckle Lane, loop through an asphalt play area on the eastern portion of the site, release the students at the eastern entrance, and then exit onto Floral Street. The one-way circulation route attempts to minimize traffic conflicts and reduce vehicle queuing out onto the road.



FSS E1

2. Commentary:

- i. The pavement condition of the vehicular entrances and interior circulation system ranges from good to fair throughout the site. There is some evidence of recent repairs and improvements to the vehicular circulation.

3. Recommendation:

- i. Implement a program of replacing damaged or worn pavement throughout the site.

Parking Location, Arrangement, and Quantity:

C.

1. Observations:

- i. Parking for faculty, staff, and visitors exists in a radial pattern directly adjacent to the school’s main entrance to the south. It is accessed from both school entrances, and provides two-way travel within each parking bay. Additional parking exists at the southwest corner of the school adjacent to the loading area. There exist approximately 125 striped spaces throughout the entire site.

2. Commentary:

- i. Some of the accessible parking spaces do not appear to comply with current MAAB standards.
- ii. It is our understanding that the existing quantity of parking spaces is sufficient for normal school hours, and for after school functions.
- iii. The pavement condition of the parking areas range from good to fair throughout the site.

3. Recommendations:

- i. Maintain condition of accessible parking areas to ensure safety and continued MAAB compliance.
- ii. Implement a program of replacing damaged or worn pavement throughout the site.



FSS E1

Pedestrian Circulation:

D.

1. Observations:

- i. A paved bituminous sidewalk runs along the entirety of the frontage of the school property on Floral Street, and on Honeysuckle Lane. These sidewalks directly connect to an internal set of sidewalks that lead to the Main building entrances, which are constructed of Portland cement concrete. There are adequate crosswalks, ensuring student safety.

2. Commentary:

- i. The condition of the bituminous and Portland cement concrete pavement throughout the site range from fair to good.
- ii. There does not appear to be an MAAB compliant accessible route at the crosswalk leading to the school from honeysuckle lane.

3. Recommendation:

- i. Implement a program of replacing damaged or worn pavement throughout the site.

- ii. Implement a program that brings all accessible routes to MAAB compliance.

Pedestrian Accessibility and MAAB Compliance:

E.

1. Observations:

- i. A total of six (6) accessible parking spaces were identified within the property. These accessible spaces lead to the building by a Portland cement concrete walkways.

2. Commentary:

- i. All six of the (6) parking spaces, signage, access aisle and accessible route appear to comply with current MAAB standards, however there is no van accessible parking space located on site.

3. Recommendation:

- i. Implement a program that brings all parking spaces to MAAB compliance.

Loading Docks and Service Areas:

F.

1. Observations:

- i. There is one (1) loading dock located at the southwest side of the building.

2. Commentary:

- i. The loading dock services a bay door and is in fair condition.
- ii. Confirm that loading dock meets current needs of the building.

3. Recommendations:

- i. Maintain pavement condition at loading area.

Courtyards and Other Exterior Student Congregation Areas:

G.

1. Observations:

- i. There exist several areas for exterior student congregation throughout the site. There is a playground area, with play structures and mulch surface treatment at the southwest corner of the school building. There is also an asphalt free-play area with painted activities on the pavement. At the rear of the building, in the northwest corner exists another asphalt free-play area, most easily accessed from within the building. At the north side of the building exists an outdoor classroom constructed of Portland cement concrete. The outdoor classroom can be accessed from either the interior or exterior of the building. At the east of the building is another free-play area with more painted pavement activities and basketball hoops.



FSS E2

2. Commentary:

- i. The condition of the structures and ground surface treatment in the playground appears to be in good condition, and meets minimum fall height requirements.
- ii. The surface at the asphalt free play areas is in good condition, although the painted pavement activities appear to be faded.
- iii. The Portland cement concrete surfacing at the outdoor classroom appears to be in good condition.

3. Recommendation:

- i. Implement a program of continued maintenance to the play area surfacing, as natural wood mulch needs to be replenished frequently.
- ii. Implement a program of replacing damaged or worn pavement throughout the site.
- iii. Implement a program to maintain all painted pavement activities on the free play surfacing.



FSS E3

Site Lighting for Building, Vehicular and Pedestrian Areas:

H.

1. Observations:

- i. Exterior wall-mounted lighting exists at most entrance doors to the building. The parking areas are illuminated by pole mounted light fixtures. The Playgrounds are also illuminated by wall mounted flood lights.

2. Commentary:

- i. Exterior lighting appears to sufficiently illuminate the site and building entrances to meet minimum safety requirements.

3. Recommendations:

- i. Implement a program of continued maintenance for the site lighting.

Site Furnishings:

I.

1. Observations:

- i. There is a flagpole located adjacent to the main building entrance. The flagpole sits on a Portland cement concrete base. There is a building identification sign in the lawn area along the access drive off of Floral Street. Another building identification sign exists at the Honeysuckle Lane entrance. There are two (2) bicycle racks located adjacent to the free-play area. Trash receptacles are located at several of the schools play areas and entrances, and are in acceptable condition. The benches in the outdoor classroom are constructed of composite plastic material.

2. Commentary:

- i. The signage is adequate and appears to be in good condition.
- ii. The flagpole, benches, tables or trash receptacles appear to be accessible and are in fair condition, but are beginning to show signs of wear.
- iii. The bike racks appear to have been struck by a vehicle and are in poor condition, however some segments of the bike rack are still functioning.

3. Recommendations:

- i. Implement a program of continued maintenance for all site furnishing as necessary throughout the site.
- ii. Replace bicycle racks and develop options to reconfigure their location.



FSS E4



FSS E5

Site Vegetation:

J.

1. Observations:

- i. There exists adequate mature vegetation throughout the site. The majority of the vegetation on site appears healthy and provides architectural value to the site.

2. Commentary:

- i. The site vegetation all appears to be in good condition.

3. Recommendations:

- i. Implement a maintenance program for plant materials that includes regular trimming, watering, and soil testing.

Building Summary

Floral Street Elementary School

Address: 57 Floral Street, Shrewsbury, MA 01545
Constructed: 1997
Additions: NA
Renovations: NA
2015 Assessed Value: \$18,473,800
(Building Only)

Building Characteristics

Gross Floor Area:
First Floor (Lower Level): 14,680 gsf
Second Floor (Main Level): 47,081 gsf
Third Floor (Upper Level): 19,602 gsf
Total Building Area: 81,363 gsf (excludes upper gymnasium area: 7,488 gsf)

780 CMR Mass. Building Code:

Use Group Classification: E (Education); A-1 (Auditorium); A-3 (Gymnasium)
Construction Type: II-B (To be verified)

Building Envelope: (see Building Envelope Section for more detailed information)

Exterior Wall Assembly: Brick masonry veneer;
Windows: Aluminum Insulating (operable); Aluminum Curtain Wall
Roofing: Sloped Asphalt Shingle

HVAC: (see MEP/FP Section for more detailed information)

Heating Fuel: Natural gas (oil option available)

Fire Protection: 100% automatic sprinkler system (assume NFPA 13)



Architecture - Interior

Overview:

In this section of the Facilities Condition Assessment Report, Gorman Richardson Lewis Architects (GRLA) presents a summary of observations regarding the condition of the interior architecture of the Floral Street Elementary School, including commentary and recommendations for action to be taken. The observations are organized according to the following “categories” in order to address the various components, systems and issues comprising the existing condition of the Floral Street School Interior:

1. Walls
2. Ceilings
3. Flooring
4. Doors
5. Windows/ Glazing
6. Casework/ Furnishings
7. Equipment
8. Mechanical Fixtures
9. Electrical/ Lighting Fixtures
10. Plumbing Fixtures
11. Code Issues
12. General

The Floral Street School contains three distinct levels (First Floor (*Lower Level*), Second Floor (*Main Level*), and Third Floor (*Upper Level*)). The main public entrance on the south side of the building accesses directly to the Second Floor which houses the primary program functions of the school: classrooms, cafeteria/ auditorium, media center (library), gymnasium and administrative offices. The site slopes down to the north to provide service access to the lower First Floor on the north side of the building, which houses additional classrooms (north wing), mechanical plant and primary storage. The Third Floor houses classrooms only.

Facilities Condition Assessment

Completed in 1997, Floral Street School has been in service for 19 years and well maintained. As an elementary school with over 686 students—grades one through four—as well as approximately 50 faculty and facility personnel, the school building is heavily used for 10 months of the year. The areas of the building most heavily used by the student body—main corridors, classrooms, restrooms, cafeteria/ auditorium and gymnasium—show more wear and tear than the Administration areas of the building.

In general, the interior of the building is functioning as intended with reasonable wear and tear of finishes appropriate to the age of the building and the type (younger children) and number of occupants. As noted in the Conditions Assessment Matrix included in this report, specific as well as general deficiencies are noted with recommendations for remediation (repair or replacement).

It is understood that the building permit for Floral Street School was issued prior to February 28, 1997 (*effective date of 780 CMR 6th Edition*), and therefore, the building design and construction reflect the requirements of the State Building Code 780 CMR 5th Edition. Nonetheless, a number of deficiencies regarding the requirements of the current Massachusetts State Building Code (780 CMR-8th Edition) and Massachusetts Architectural Access Board code (521 CMR) were observed and noted in the “Code Issues” category of this assessment report. Although allowed at the time the building was permitted and constructed, they are included in the assessment report for information purposes and may require corrective action triggered by future renovation projects or if deemed by the Authority Having Jurisdiction (typically the building official or fire department official) to pose a hazard to occupants or the public. In addition, any deficiencies regarding handicap accessibility and conformance with the Americans with Disabilities Act (ADA) may require immediate action.

The issues documented and itemized in the following matrix section, as stated in the table of contents, with priority level, remaining service life (1 year/ 5 years/ 10 years) and associated costs for repair or replacement included for each issue. At the bottom of each matrix is a summary of the costs-- by building-- for each of the service life time periods, providing a summary of anticipated costs—by building—for capital planning purposes for the next 10 fiscal years: 2017 through 2026.

Methodology:

During the summer and fall of 2015, GRLA visited the Floral Street School on multiple occasions and made visual observations of the condition of the interior architecture of the building, including walls, ceilings, flooring, doors, windows/glazing, casework/furnishings, miscellaneous equipment, mechanical-electrical-plumbing finish components and fixtures, as well as code issues regarding building code and accessibility code. Being among the more recently constructed town-owned buildings, a full structural assessment of the Floral Street School was not required and was limited to any significant structural issues or deficiencies noted during the observation effort.

PlanGrid:

Information gathering, field notes and photography for this section of the Conditions Assessment Report were accomplished using PlanGrid, a web-based “punch-list” tool utilizing an iPad. Floor plans (pdf format) of each level were uploaded to the PlanGrid program. Symbols representing observations of existing conditions by each of the twelve categories noted above were located on each floor plan. A “pop-up” page associated with each symbol provided a means to describe each observation, identify its location within the floor plan and include multiple photos. The “pop-up” pages could then be retrieved and sorted by category into individual PlanGrid Reports, providing detailed information for each observation. The PlanGrid Reports for each building, by category, are included on the flash drive, Appendix B-Plan Grid References, included in the back of the Report binder. In addition, the number of the PlanGrid Report associated with each observation is noted in the “PlanGrid” column of the associated matrix.

Conclusion

The **Architecture-Interior** of the Floral Street School building is primarily functioning as intended. Specific deficiencies and end-of-service-life issues are addressed in detail within the Condition Assessment Matrix.

Among the more notable issues of concern are included:

- Deficiencies regarding doors bearing a fire rated label
- Deficiencies regarding lighting at paths of egress
- Deficiencies regarding conformance to requirements for handicap accessibility

Building Envelope

Overview:

In this section of the Facilities Condition Assessment Report, GRLA Building Envelope Sciences presents a summary of observations regarding the condition of the building envelope systems at the Floral Street School, including commentary and recommendations for action to be taken. The observations are organized according to the following “categories” in order to address the various components, systems and issues comprising the existing condition of the structure:

1. Roofs
2. Exterior Walls
3. Windows

Methodology:

GRLA visited the Floral Street School on August 19 and 20, 2015, and made visual observations of the condition of the building envelope systems. GRLA made observations from the ground using binoculars and from accessible roof areas. GRLA also made observations of representative interior areas.

ROOFS

1. Observations:

- i. The Floral Street School has a steep slope asphalt shingle roof.
- ii. There are several areas with broken asphalt shingles, exposed nails, and face nailed shingles.
- iii. Shingles have map cracking, granule loss, and blisters.
- iv. There is a gap in roofing materials at the base of a hip, exposing wood structure below.
- v. There is standing water in the gutter near the front entrance.

2. Commentary:

- i. The shingles are weathered and showing signs of aging, but typically appear functional.
- ii. Isolated damage (e.g. broken shingles, gaps in roofing materials) may present a leakage risk in the short term.

3. Recommendations:

- i. Repair isolated damage as soon as possible.
- ii. Plan to replace 100% of roofing between 2022 and 2026.

EXTERIOR WALLS

1. Observations:

- i. The exterior walls are brick and split face cast stone veneer walls, with a fiber reinforced polymer (FRP) trim along the tops of walls.
- ii. Sealants at wall transitions, penetrations, FRP joints, and expansion joints are typically failed.
- iii. Isolated mortar joints are deteriorated.
- iv. Isolated areas of masonry are cracked and displaced.

2. Commentary:

- i. Sealants require frequent replacement and should be considered an ongoing maintenance item.
- ii. Cracked and deteriorated masonry may become a falling hazard if not repaired.

3. Recommendations:

- i. Replace failed sealants; plan ongoing replacement approximately every 5-10 years.
- ii. Rout and point deteriorated mortar joints.

- iii. Investigate cracked and displaced masonry to determine the cause of cracking and movement. Remove any loose masonry as an interim measure. Repair cracks by routing and sealing (moving cracks) or pointing (static cracks). Secure masonry to backup structure with restoration anchors as required.

WINDOWS

1. Observations:

- i. Windows are predominantly single hung aluminum frame windows.
- ii. Sealants at window perimeters are failed in many locations.
- iii. Some windows have loose latch hardware (refer to GRLA Architectural Conditions Assessment Matrix for additional detail).
- iv. Four windows operated by GRLA open, close, and latch properly.

2. Commentary:

- i. Sealants require frequent replacement and should be considered an ongoing maintenance item.
- ii. Loose latch hardware may prevent windows from adequately sealing when closed.

3. Recommendations:

- i. Replace failed sealants; plan ongoing replacement approximately every 5-10 years.
- ii. Repair deteriorated window hardware (refer to GRLA Architectural Conditions Assessment Matrix for additional detail).

Refer to the GRLA Building Enclosure Conditions Assessment Matrix for additional detail regarding observations and recommended repairs.

Facilities Condition Assessment Narrative

Overview:

In this section of the Facilities Condition Assessment Report, Weston & Sampson presents a summary of observations regarding the condition of Floral Street School site, including commentary and recommendations for action to be taken. The observations are organized according to the following “categories” in order to address the various components comprising the existing condition of Floral Street School site:

1. Electrical
2. HVAC
3. Plumbing
4. Fire Protection
5. Hazardous Materials

Floral Street School
Representative Existing Conditions Photographs



Southeast Elevation, partial view



South Elevation, partial view



South Elevation, failed joint sealant



South Elevation, crack in a mortar joint at an entry column

Floral Street School
Representative Existing Conditions Photographs



South Elevation, peeling paint at front entry door



South Elevation, roof eave vent at front entryway



South Elevation, failed sealant at an expansion joint



South Elevation, failed window perimeter sealant

Floral Street School
Representative Existing Conditions Photographs



South Elevation, failed sealant, cracked mortar below a window



South Elevation, cracked masonry below a window



South Elevation, cracked and deteriorated mortar and sealant at a lintel



East Elevation, partial view

Floral Street School
Representative Existing Conditions Photographs



East Elevation, crack in mortar joint



East Elevation, scaled stone and failed sealant



East Elevation, partial view showing missing downspouts



East Elevation, damaged stone and cracks through masonry and mortar

Floral Street School
Representative Existing Conditions Photographs



North Elevation, partial view



North Elevation, corroded doors, with peeling paint and deteriorated perimeter sealant



North Elevation, failed window perimeter sealant



North Elevation, crack in masonry and mortar joints

Floral Street School
Representative Existing Conditions Photographs



West Elevation, partial view



West Elevation, failed sealant at a joint in the trim



North Elevation, partial view



North Elevation, failed sealant at an expansion joint

Floral Street School
Representative Existing Conditions Photographs



North Elevation, failed sidelight perimeter sealant



East Elevation, partial view



East Elevation, damaged downspout



East Elevation, failed window perimeter sealant

Floral Street School
Representative Existing Conditions Photographs



North Elevation, partial view



North Elevation, failed window perimeter sealant



West Elevation, partial view



North Elevation, partial view

Floral Street School
Representative Existing Conditions Photographs



East and North Elevations, partial view



East Elevation, crack through masonry



East Elevation, cracks in masonry and mortar, and gap between stone sill and vent screen



East Elevation, damaged window screen

Floral Street School
Representative Existing Conditions Photographs



East Elevation, loose and deteriorated mortar at a lintel



North Elevation, partial view



North Elevation, cracked and deteriorated mortar



North Elevation, crack through masonry and mortar

Floral Street School

Representative Existing Conditions Photographs



North Elevation at Northwest Corner, crack through masonry and mortar, and masonry is displaced



West Elevation at Northwest Corner, crack through masonry and mortar, and masonry is displaced



West Elevation, partial view



West Elevation, cracked and deteriorated mortar and stained masonry around a vent

Floral Street School
Representative Existing Conditions Photographs



West Elevation at entry, cracked and deteriorated mortar joint



West Elevation at entry, crack in mortar joint



North Elevation, partial view



Northwest entry, damaged gutter

Floral Street School
Representative Existing Conditions Photographs



North Elevation at entry, cracked and deteriorated mortar



North Elevation at entry, peeling paint and crack in mortar joint



North Elevation at entry, section of mortar missing



West Elevation, partial view

Floral Street School
Representative Existing Conditions Photographs



West Elevation, damaged downspout



West Elevation, spalled and cracked concrete



South Elevation, partial view



South Elevation, displaced masonry and cracked and deteriorated mortar joints

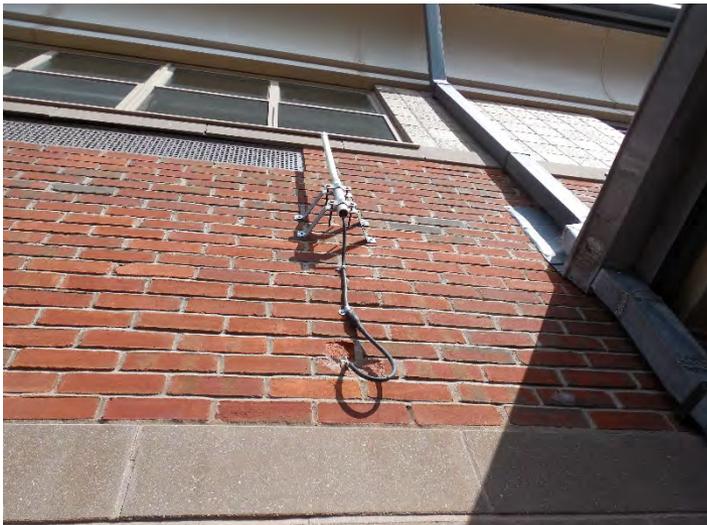
Floral Street School
Representative Existing Conditions Photographs



South Elevation, displaced masonry and cracked and deteriorated mortar joints



South Elevation, spalled brick under a lintel



South Elevation, partially sealed wire penetration

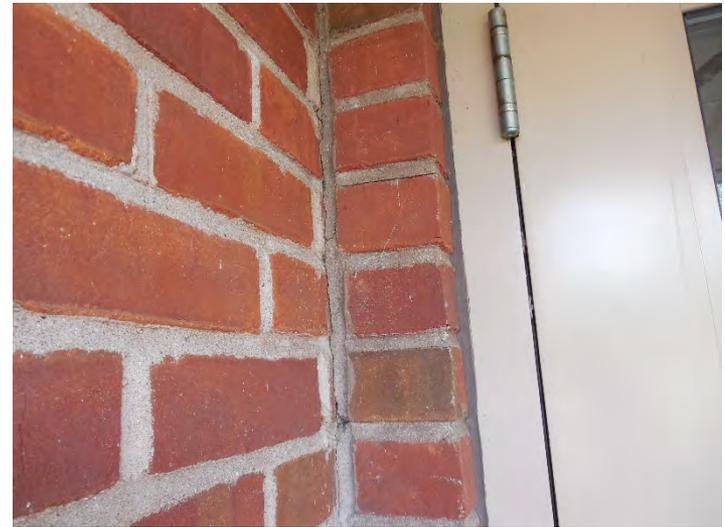


South Elevation, damaged downspout

Floral Street School
Representative Existing Conditions Photographs



West Elevation, partial view



West Elevation crack in mortar joint



South Elevation, partial view



South Elevation, crack in mortar joint

Floral Street School
Representative Existing Conditions Photographs



South Elevation, cracks in mortar joints



East Elevation, partial view



South and East Elevations, partial view



South Elevation, brick bulges out at top of wall

Floral Street School
Representative Existing Conditions Photographs



Partial view of roof, facing South



Crack through a shingle



Roofing nail protruding through shingle



Partial view of roof with several broken shingle tabs

Floral Street School
Representative Existing Conditions Photographs



Partial view of roof, facing East



Partial view of roof with several broken shingle tabs



Ridge vent, holes at face nails



Southwest corner of upper roof, gap in roofing materials with exposed wood structure

Floral Street School
Representative Existing Conditions Photographs



Roof over main entrance



Standing water in gutters at main entrance



Exposed shingle mat due to granule loss



Blisters in ridge shingle

Floral Street School

Representative Existing Conditions Photographs



Partial view of roof at North side, area of exposed self-adhered membrane underlay

Electrical

1. Observations:

i. Main service is 1600A at 480/277V, 3-phase, 4-wire

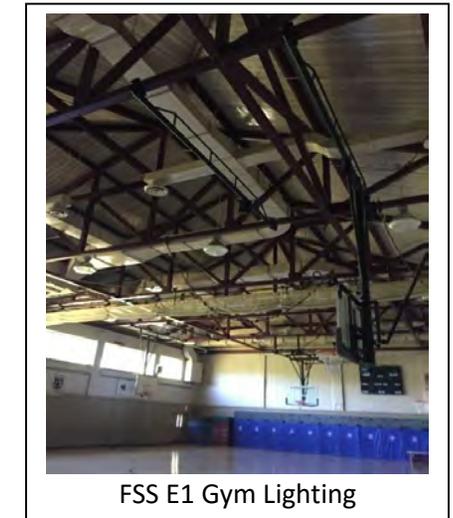
ii. Lighting in the Gym is pendant mounted HID fixtures.

iii. Lighting throughout the school is predominantly florescent

iv. Lighting controls is via motion sensors and wall mounted switches.

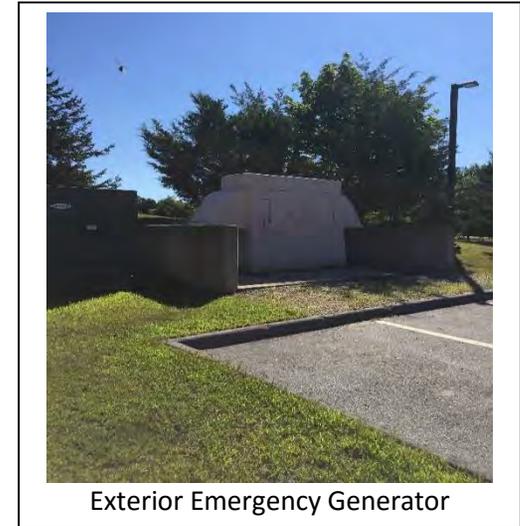


Main Electric Service 1



FSS E1 Gym Lighting

- v. Emergency lighting is fed from the generator



- vi. Fire alarm is a FCI Voice Evacuation addressable system



2. Commentary:

i. Main Electrical Service

The building is served by a single electrical service rated 1600 amperes, 480Y/277volts, 3-phase, 4-wire and is located in the main electrical room. The service equipment consists of an exterior utility company pad mounted transformer, an underground feed to utility metering equipment and a 1600amp main circuit breaker switchboard. All electrical distribution equipment is manufactured by G.E. The main switchboard feeds additional 277/480V panelboards located throughout the facility as well as a 500KVA transformer located in the main electrical room. The 500KVA transformer then feeds a 1600A 120/208V switchboard. This 120/208V switchboard then feeds several 120/208V panels located throughout the facility. The predominance of the main distribution equipment is in good condition.

ii. Emergency System

There is an onsite 150kw diesel emergency generator manufactured by Superior. The generator feeds one automatic transfer switch for emergency life safety. The generator, transfer switch and emergency panelboards appear to be in good condition.

iii. Lighting

The lighting throughout the facility consists of surface mounted 2 lamp 1x4 fluorescent T8 32w strip fixtures in all mechanical and electrical type spaces. The lighting in the corridors consists of 1' x 4', 2-lamp fluorescent direct/indirect pendant fixtures as well as 2' x 4' 3-lamp T8 32W recessed parabolic fixtures. The lighting in all classrooms consists of 2' x 4' 3-lamp T8 32W recessed parabolic fixtures. All lighting throughout the facility is controlled with motion sensors and manual override switches. The lighting throughout the facility appears to be in good condition and the light levels appear to be within recommended levels.

Lighting within the Gym consists of 16 pendant mounted fixtures. Each fixture consists of (8) 4-pin compact fluorescent lamps.

- iv. Site lighting is accomplished via building mounted metal halide wall packs and a number of pole mounted LED flood lights both appear to be in good condition.
- v. Life safety emergency lighting is provided via the generator and emergency life safety panelboards. The emergency light fixtures appear to be in good condition.
- vi. Battery powered exit lighting is installed throughout the facility and is fed via the life safety emergency generator and emergency power panelboards. The exit lighting is in good condition.
- vii. Fire Alarm

The fire alarm system is an FCI 7200 addressable voice evacuation system. There are manual fire alarm pull stations and speaker strobes located throughout the building. Heat and smoke detectors are present throughout the facility. The fire alarm system is original to the school and appears to be in fair condition.

viii. Clock System

The existing clock system is in good condition and there have been no reported problems to date.

ix. Paging System

The existing paging system is in good condition and there have been no reported problems to date.

x. Security System

The existing security system is in good condition and there have been no reported problems to date.

3. Recommendations:

- i. Replace all existing GYM lighting with new Fluorescent T5 6-lamp high bay fixtures.
- ii. Replace all fluorescent fixtures with new LED fixtures for energy savings.
- iii. Replace all exterior building mounted HID wall packs with new LED fixtures for energy savings.
- iv. Provide a new fully addressable Voice evacuation Fire Alarm system.

Facilities Condition Assessment Narrative

HVAC

1. Observations:

- i. The building is heated by two (2) dual fired (gas/oil) hot water boilers.
- ii. Heating hot water is circulated by four (4) constant volume end suction pumps. Two pumps serve one half of the school while the other two serve the remaining half. The boilers have two (2) dedicated boiler pumps to maintain minimum flow thru the boiler. Hot water is supplied to Unit Ventilators, finned tube radiation, cabinet unit heaters and other various heating equipment.
- iii. Classrooms have heating only Unit ventilators. Finned tube radiation is located throughout the school.
- iv. There are six (6) H&V units. Two units serve the Gym, one serves the cafeteria, one is for make-up air for the kitchen, one is for combustion air in the boiler room and the last is for the special education rooms.
- v. Cooling is provided for the Administration spaces, the computer room and the Media Center. All cooling is provided by split system AC units.
- vi. There is a 10,000 gallon underground fuel oil storage tank.

2. Commentary:

- i. Most of the equipment is original to the 1995 construction.
- ii. Heating Equipment:
 - Boilers: The boiler are Cleaver Brooks Model CB-200 with an output of 4,185 MBH each, even though they are dual fired the fuel oil pumps have been removed and the units no longer have the need to run off oil. The boilers are in good condition.



Facilities Condition Assessment Narrative

- Hot Water Pumps: The existing hot water pumps P-1 & P-2 are Taco model FE251 base mounted pumps. Upon visual inspection the pumps appear to be in good condition with minor signs of corrosion. The existing hot water pumps P-3 & P-4 are Taco model FE301 base mounted pumps. Upon visual inspection the pumps appear to be in good condition also with minor signs of corrosion. The existing hot water pumps P-5 & P-6 are Taco inline pumps. Upon visual inspection P-5 appears to be in fair condition while P-6 was in poor condition and is leaking water.
- Unit Ventilators: The classroom unit ventilators are manufactured by Trane. The unit ventilators appeared to be in good condition.
- iii. Cooling Equipment
 - Split System AC:'s: The indoor and outdoor units for the split systems appear to be in good condition.
- vii. Building Management System:
 - The existing control system is a Johnson Metasys system with a combination of DDC controls and pneumatic actuation. The BMS is original to the 1995 construction and it may be problematic and expensive to get new parts as components start to fail.

3. Recommendations

- i. Install VFD's on Hot Water Pumps
- ii. Replace existing BMS System.
- iii. Remove 10,000 Gallon underground Fuel Oil storage Tank
- iv. Repair leaking at hot water pump P-6.



Hot Water Pumps (P-1 & P-2)



FSS M1 – Hot water Pump P-6

Facilities Condition Assessment Narrative

PLUMBING**1. Observations:**

- i. Domestic Water Service: The building is served by a 4" domestic water service.
- ii. Domestic Hot Water Service: The building's domestic hot water service is generated by one (1) 100 gallon gas fired hot water heater.
- iii. Natural Gas: The building has a 4" natural gas service.
- iv. Sanitary: the building is served with a 6" sanitary water line and a 4" rain water line.
- v. Fixtures:
 - Water closets are wall mounted vitreous china and have manual flush valves.
 - Urinals are wall mounted vitreous china and manual flush valves.
 - Lavatories are wall hung vitreous china and have single push button faucets.
 - Drinking fountains are wall mounted stainless steel units.

2. Commentary:

- i. Most of the plumbing fixtures are original to the 1995 construction and appear to be in good condition.
- ii. The domestic hot water heater is an American Water Heater Company model BCG3100 and was installed in July of 2010. It appears to be in good condition.



FSS P1 – Water Closet



FSS P2 – Urinals

3. Recommendations:

- i. Replace existing water closets flush valves with automatic flush valves.
- ii. Replace existing urinals flush valves with automatic flush valves.
- iii. Replace existing lavatories faucets with automatic faucets



Fire Protection

1. Observations:

- i. There is full fire protection coverage for the building. The dedicated 6" FP service enters the building in a storage room and includes a double check valve assembly.

2. Commentary:

- i. The Fire Protection system is in good condition.

3. Recommendations:

- i. None

Hazardous Materials

1. Observations:

i. Asbestos-Containing Materials

Numerous suspect asbestos-containing materials were observed within the building, including but not limited to: gypsum board, floor tile, resilient flooring, acoustical ceiling tile, molded cove base, spray-applied fireproofing, duct sealant, caulk, etc. All materials were observed to be in generally good condition.

ii. Other Hazardous Materials

Fluorescent light fixtures are present throughout the building. Other materials present include hydraulic door closers and exit lights. All materials were observed to be in generally good condition.

2. Commentary:

i. Asbestos-Containing Materials

The building was constructed in 1997, well past the date for asbestos-containing materials to typically be utilized during construction. Additionally, the architect of record, Lamoureux Pagano and Associates, provided a letter dated June 3, 2010 that to the best of their knowledge none of the materials supplied or installed in the building contained asbestos.

ii. Other Hazardous Materials

Fluorescent light fixtures contain small amounts of mercury. Fluorescent light ballasts often contain polychlorinated biphenyls (PCBs) or Diethylhexyl Phthalate or Di (2-ethylhexyl) phthalate (DEHP). Hydraulic door closers often contain oils. Exit lights historically contained batteries. None of these materials typically present hazards unless they are damaged.

3. Recommendations:

i. Asbestos-Containing Materials

Despite the age of the building and the architects' letter, the Massachusetts Department of Environmental Protection (DEP) revised asbestos regulation, effective June 20, 2014, requires that any Suspect Asbestos-Containing Material be sampled by a Massachusetts Department of Labor Standards (DLS)-certified asbestos inspector prior such materials being impacted by renovation or demolition. Alternatively, materials may be assumed to contain asbestos. We recommend that any suspect asbestos-containing materials expected to be impacted by renovation or demolition be sampled prior to disturbance. Also, the building falls under the EPA Asbestos Hazard

Emergency Response Act (AHERA) that requires school districts to inspect their schools for asbestos-containing building material and prepare management plans and to take action to prevent or reduce asbestos hazards. The AHERA plan should be consulted prior to renovation as it may contain laboratory analytical results. The following is a list of potential asbestos-containing materials found at the building.

Material	Location	Approximate Quantity	Condition
Floor tile and associated mastics	Throughout	10,000 SF	Good
Foundation damp-proofing	Exterior below grade	3,500 SF	Good
Door caulk	Exterior	400 LF	Good
Window caulking and glazing	Exterior	1,400 LF	Good
Roof caulk	Exterior – roof at penetrations/transitions	200 LF	Good
Roofing materials	Exterior – roof	37,500 SF	Good
Gypsum board	Throughout	22,000 SF	Good

ii. Other Hazardous Materials

The fluorescent light fixtures and ballasts, door closers and exit lights may require special handling and disposal should they require removal from the building. The following is a summary of such materials found at the building.

Material	Approximate Quantity
Fluorescent light bulbs	1,100
Fluorescent light ballasts	550
Hydraulic door closers	120
Exit light batteries	60

Floral Street School - Total Estimated Costs

Consultant	Discipline		Cost Estimate		
			1 yr	5 yr	10 yr
Waterman Design Associates	Site & Landscape			\$281,162	\$310,764
Gorman Richardson Lewis Architects	Architecture		\$130,179	\$791,440	\$907,766
Gorman Richardson Lewis Architects	Building Envelope		\$348,384	\$117,772	\$4,248,210
Weston & Sampson	MEP/FP/Hazmat		\$30,400	\$4,744,376	\$2,911,044
		Totals	\$508,963	\$5,934,750	\$8,377,784

Condition Assessment Matrix

BUILDING:		FLORAL STREET SCHOOL															
AREA:		Site/Landscape															
Issue #	Discipline	Location	System	Description	Photo #	PlanGrid Report #	Priority			Service Life			Commentary	Quantity	Cost Estimate		
							Low	Med	High	2017	2018 to 2021	2022 to 2026			1 yr	5 yr	10 yr
SL-1	Site/Landscape	Varies	Vehicular Entrances and Circulation	The pavement condition of the vehicular entrances and interior circulation system ranges from good to fair throughout the site.			X				X Phased	Implement a program of replacing damaged or worn pavement throughout the site. (assumes 2500 sf for each period)	5,000S.F.				
															\$ 32,585	\$ 38,570	
SL-2	Site/Landscape	Varies	Parking Location, Arrangement, and Quantity	The pavement condition of the parking areas mirrors that of the vehicular entrances, ranging from good to fair throughout the site, with little evidence of recent repairs			X				X Phased	Implement a program of replacing damaged or worn pavement throughout the site. (assumes 2500 sf for each period)	5,000S.F.				
															\$ 32,585	\$ 38,570	
SL-3	Site/Landscape	Varies	Pedestrian Circulation	The condition of the bituminous and Portland cement concrete pavement throughout the site ranges from good to fair throughout.			X				X Phased	Implement a program of replacing damaged or worn pavement throughout the site.	3,000S.F.				
															\$ 19,551	\$ 23,142	

Condition Assessment Matrix

BUILDING:		FLORAL STREET SCHOOL															
AREA:		Site/Landscape															
Issue #	Discipline	Location	System	Description	Photo #	PlanGrid Report #	Priority			Service Life			Commentary	Quantity	Cost Estimate		
							Low	Med	High	2017	2018 to 2021	2022 to 2026			1 yr	5 yr	10 yr
SL-4	Site/Landscape	Varies	Pedestrian Accessibility and MAAB Compliance	Four (4) accessible spaces in the visitor parking area lot do not appear to conform to current MAAB standards as there lacks a van accessible parking space located on site.			X				X Phased	Implement a program to bring accessible parking spaces throughout the site into compliance with current MAAB standards. (assumes 4 spaces per phase)	1 L.S.				
															\$ 55,860	\$ 66,120	
SL-5	Site/Landscape	Varies	Loading Docks and Service Areas	Confirm that loading dock meets current needs of the building.			X				X Phased	Maintain condition of loading dock.	1 L.S.				
															\$ 18,620	\$ 22,040	
SL-6	Site/Landscape	Varies	Courtyards and Other Exterior Student Congregation Areas	The bituminous concrete surfacing in all courtyards is good.			X				X Phased	Implement a program of replacing damaged or worn pavement throughout the site.	3,000 S.F.				
															\$ 19,551	\$ 23,142	
SL-7	Site/Landscape	Varies	Site Lighting for Building, Vehicular and Pedestrian Areas	Exterior lighting appears to sufficiently illuminate the site and building entrances to meet minimum safety requirements.			X				X Phased	Implement a program of continued maintenance for the site lighting.	1 L.S.				
															\$ 18,620		
SL-8	Site/Landscape	Varies	Site Furnishings	The bike racks appear to have been struck by a vehicle and are in poor condition, however some segments of the bike rack are still functioning.			X				X Phased	Replace bicycle racks and develop options to reconfigure their location. (assumes 5 ea. per phase)	1 L.S.				
															\$ 9,310	\$ 11,020	

Condition Assessment Matrix

BUILDING:		FLORAL STREET SCHOOL															
AREA:		Site/Landscape															
Issue #	Discipline	Location	System	Description	Photo #	PlanGrid Report #	Priority			Service Life			Commentary	Quantity	Cost Estimate		
							Low	Med	High	2017	2018 to 2021	2022 to 2026			1 yr	5 yr	10 yr
SL-9	Site/Landscape	Varies	Site Vegetation	The condition of the site vegetation all appears to be in good condition.			X					X Phased	Implement a maintenance program for plant materials that includes regular trimming, watering, and soil testing (assumes 5000 sf per phase)	1 L.S.		\$ 74,480	\$ 88,160
															1 yr	5 yr	10 yr
Total Site & Landscape															\$ -	\$ 281,162	\$ 310,764

Condition Assessment Matrix

BUILDING:		FLORAL STREET ELEMENTARY SCHOOL																
AREA:		First Floor: Classrooms, Special Education, Storage, Primary Electrical Room.																
Issue #	Discipline	Location	System	Description	Photo #	PlanGrid Report #	Priority			Service Life			Commentary	Quantity	Cost Estimate			
							Low	Med	High	2017	2018 to 2021	2022 to 2026			1 yr	5 yr	10 yr	
1F-1	Arch	First Floor	Walls	Surface cracks in GWB wall finish especially at corner bead locations but also near door frames; typically observed in classroom, prep room and other individual spaces off the main circulation corridors. Damaged paint finish due to abrasion of adjacent furnishings against the walls; typically observed in classroom, prep room and other individual spaces off the main circulation corridors.	A P P E N D I X B R O W N P H O T O	#174 #185	X					X Phased	Implement a program of repainting of painted wall and interior door frame surfaces, including repair of damaged GWB (gypsum wallboard) and vinyl wall base. Repainting program may be divided into primary areas of the building spread over a 5- to 7-year period such that finish surfaces are refreshed every 5 to 7 years. (50% before YR3 end and 50% before Y7 end)	13,353 sf				
1F-2	Arch	Men's Toilet 110	Walls	Deteriorated grout and joints in wall tile		#174	X					X	Implement program to clean and repair grout in wall tile	596 sf floor area			\$ 99,453	\$ 117,720
1F-3	Arch	Men's Toilet Room 110	Ceilings	Discoloration of ceiling tiles		#175	X					X	Replace existing ceiling tiles	213 sf			\$ 5,549	
1F-4	Arch	Women's Toilet 111	Ceilings	Discoloration of ceiling tiles		#175	X					X	Replace existing ceiling tiles	159 sf			\$ 3,173	\$ 2,369

Condition Assessment Matrix

BUILDING:		FLORAL STREET ELEMENTARY SCHOOL																
AREA:		First Floor: Classrooms, Special Education, Storage, Primary Electrical Room.																
Issue #	Discipline	Location	System	Description	Photo #	PlanGrid Report #	Priority			Service Life			Commentary	Quantity	Cost Estimate			
							Low	Med	High	2017	2018 to 2021	2022 to 2026			1 yr	5 yr	10 yr	
1F-5	Arch	First Floor	Ceilings	Acoustical ceiling tiles (ACT) typically soiled near HVAC diffusers	A P P E N D I X B P H O T O F O L D E R	#175	X				X Phased		Implement a program of replacing soiled and damaged ceiling tiles to maintain high quality appearance of spaces. Consider use of cleanable tiles near HVAC diffusers to allow for cleaning of dust/ dirt buildup within the supply air coming through the diffusers. (50% before Y5 and 50% before Y10 and use of regular tile)	8,908 sf				
1F-6	Arch	Men's Toilet Room 110	Flooring	Ceramic floor tile and grout heavily stained; some separation of grout joints.		#176	X				X		Remove damaged and heavily stained grout and install new grout; clean entire floor surface	213 sf			\$ 3,966	
1F-7	Arch	Women's 111	Flooring	Ceramic floor tile and grout heavily stained; some separation of grout joints.		#176	X				X		Remove damaged and heavily stained grout and install new grout; clean entire floor surface	159 sf			\$ 2,961	
1F-8	Arch	Classrooms and Corridor 100	Flooring	Carpet is stained and lightly worn		#176	X				X		Clean carpet annually and as required. Replace carpet and end of service life	6,977 sf			\$ 64,956	
1F-9	Arch	Classrooms	Flooring	VCT tile is lightly worn with limited areas of cracked tile		#176	X				X Phased		Refinish VCT (strip & wax) annually; Replace damaged tiles	798 sf			\$ 11,887	\$ 21,106
1F-10	Arch	Primary Electrical Room 118	Flooring	Cracks in concrete floor slab		#176	X				X		Seal cracks with appropriate sealant and paint concrete floor with epoxy paint	50 lf of cracks				
														4,094 sf			\$ 47,135	

Condition Assessment Matrix

BUILDING:		FLORAL STREET ELEMENTARY SCHOOL															
AREA:		First Floor: Classrooms, Special Education, Storage, Primary Electrical Room.															
Issue #	Discipline	Location	System	Description	Photo #	PlanGrid Report #	Priority			Service Life			Commentary	Quantity	Cost Estimate		
							Low	Med	High	2017	2018 to 2021	2022 to 2026			1 yr	5 yr	10 yr
1F-11	Arch	First Floor	Doors	Double doors/ frames with 1 1/2 hour rating have no gasketing at astragal and wired glass at vision panel	A P P E N D I X B R O W N P H O T O F O L D E R	#177			X	X		Per NFPA80 Standard for fire doors, gaps no greater than 1/8" inch clearance at meeting stiles and perimeter with the exception of the door bottom that is maximum 3/4 " inch. If opening is a smoke barrier then smoke gasketing is required. - install perimeter and astragal gasketing at all double doors; - replace wired glass with tempered safety glass	4 double doors	\$ 6,703			
1F-12	Arch	First Floor	Doors	Most door and frame finish is chipped; all silencers are either worn down or missing		#177	X				X		Implement program to adjust and refinish all doors and replace closers, locksets and silencers	Single: 27 Double: 4 Store front: 4		\$ 143,188	
1F-13	Arch	Boiler Room 114	Doors	Overhead coiling doors: door perimeter does not make a tight seal		#177		X			X		Implement program to evaluate operation and perimeter seals at both coiling doors; Adjust actuator and replace all perimeter seals	2 doors		\$ 14,896	
1F-14	Arch	Room 104 and 106	Windows	Seal failure at upper fixed window panels		#178		X			X		Replace failed IG units	2 of 12		\$ 3,352	
1F-15	Arch	First Floor	Windows	Interior perimeter sealant is deteriorated at many locations.		#178		X			X		Implement program to replace existing interior window perimeter sealant (assumes no haz-mat abatement required)	1,719 lf		\$ 28,807	
1F-16	Arch	Rooms 101, 102 and 109	Windows	Damaged screens		#178		X			X		Replace damaged screens	3 of 12		\$ 2,793	

Condition Assessment Matrix

Town of Shrewsbury Town Buildings
01 June, 2016

Facilities Condition Assessment

BUILDING:		FLORAL STREET ELEMENTARY SCHOOL															
AREA:		First Floor: Classrooms, Special Education, Storage, Primary Electrical Room.															
Issue #	Discipline	Location	System	Description	Photo #	PlanGrid Report #	Priority			Service Life			Commentary	Quantity	Cost Estimate		
							Low	Med	High	2017	2018 to 2021	2022 to 2026			1 yr	5 yr	10 yr
1F-17	Arch	Men's Toilet Room 110	Glass	Lav mirrors deteriorated at perimeter	A P P E N D I X	#179	X				X		Replace 18" x 30" metal framed mirrors	2		\$ 2,234	
1F-18	Arch	First Floor Classrooms	Casework	Wood window stools worn and faded		#180	X				X		Refinish wood stools	180 lf		\$ 3,687	
1F-19	Arch	First Floor Classrooms	Casework	Cabinet doors and drawers: misalignment of doors and drawers; finish is worn and delaminated in areas and		#180		X			X		Implement program to replace cabinet doors and drawers	449 lf		\$ 125,406	
1F-20	Arch	First Floor Classrooms	Casework	Plastic laminate countertops delaminated in numerous locations	B	#180		X			X		Replace plastic laminate countertops and backsplashes with solid surface countertops and backsplashes	833 sf		\$ 155,105	
1F-21	Arch	Men's Room 110	Casework	Urinal and toilet partitions showing visible rust	P H O T O	#180	X				X		Replace rusted urinal screens and toilet side partition	urinal: 2 WC: 1		\$ 8,193	
1F-22	Arch	Stair 1	Light Fixture	2 lamps out at Exit Door		#181			X	X			Implement program to revamp 2x4 lay-in fixtures	43		\$ 16,013	
1F-23	Arch	First Floor Classrooms	Light Fixture	Linear pendant fixtures; assume (2)T-8 per 4-footsection		N/A		X			X		Implement program to revamp linear pendant fixtures:	(41) 4-ft sections		\$ 15,268	
1F-24	Arch	Men's Toilet 110	Mech Fixture	Corrosion at wall heater cover	F O L D E R			X			X		Replace 48"(w) x 30"(h) wall heater cover	1		\$ 1,676	
1F-25	Arch	First Floor	Mech Fixture	HVAC diffusers dirty		#182		X			X		Implement program to clean and repaint all ceiling diffusers/ registers	10		\$ 1,769	
1F-26	Arch	Primary Electrical 118	Mech Fixture	Missing T-Statcovers		#182		X			X		Install missing T-stat covers	3		\$ 419	

Condition Assessment Matrix

BUILDING:		FLORAL STREET ELEMENTARY SCHOOL															
AREA:		First Floor: Classrooms, Special Education, Storage, Primary Electrical Room.															
Issue #	Discipline	Location	System	Description	Photo #	PlanGrid Report #	Priority			Service Life			Commentary	Quantity	Cost Estimate		
							Low	Med	High	2017	2018 to 2021	2022 to 2026			1 yr	5 yr	10 yr
1F-27	Arch	Room 100	Code Issue	Drinking Fountain knee space only 25" (27" min. required)	A P P E N D I X B P H O T O F O L D E R	#186			X	X			No immediate action required. Future projects may require adjustment of height to conform	No Action			
1F-28	Arch	Room 109	Code Issue	Sink is not accessible		#186			X	X			Install accessible sink and cabinet base	1	\$ 11,400		
1F-29	Arch	Room 108	Code Issue	Sink is not accessible		#186			X	X			Install accessible sink and cabinet base	1	\$ 11,400		
1F-30	Arch	Men's 112	Code Issue (ADA)	Single use toiletry rooms have in-swing doors		#218							In single-user toilet rooms or bathing rooms, Section 603.2.3 Exception 2 of the 2010 Standards (ADA) permits the door to swing into the clear floor space of an accessible fixture if a clear floor space that measures at least 30 inches by 48 inches is provided outside of the door swing. (See also 521 CMR 30.4); A 30-inch x 48-inch clear floor space is provided beyond the swing of the door; therefore the toilet rooms comply with ADA and 521 CMR. No Action Required.	No Action			
1F-31	Arch	Women's 113	Code Issue (ADA)	Single use toiletry rooms have in-swing doors		#186							See 1F-30 above	No Action			
1F-32	Arch	Men's 110	Code Issue	Accessible stall door is not self-closing		#186			X	X			Replace accessible stall door hardware to be self-closing	1	\$ 3,800		
1F-33	Arch	Women's 111	Code Issue	Accessible stall door is not self-closing		#186			X	X			Replace accessible stall door hardware to be self-closing	1	\$ 3,800		

Condition Assessment Matrix

BUILDING:		FLORAL STREET ELEMENTARY SCHOOL															
AREA:		First Floor: Classrooms, Special Education, Storage, Primary Electrical Room.															
Issue #	Discipline	Location	System	Description	Photo #	PlanGrid Report #	Priority			Service Life			Commentary	Quantity	Cost Estimate		
							Low	Med	High	2017	2018 to 2021	2022 to 2026			1 yr	5 yr	10 yr
1F-34	Arch	Classroom 106	Code Issue	Plumbing pipe below accessible sink is not insulated	APPENDIX B PHOTO FOLDER	#186			X	X			Install Tru-Bro pipe insulation at sink plumbing	1	\$ 912		
1F-35	Arch	Classroom 104	Code Issue	Plumbing pipe below accessible sink is not fully insulated		#186			X	X			Install Tru-Bro pipe insulation at sink plumbing	1	\$ 912		
1F-49	Arch	Classroom 102	Code Issue	Plumbing pipe below accessible sink is not fully insulated		#186			X	X			Install Tru-Bro pipe insulation at sink plumbing	1	\$ 912		
																1 yr	5 yr
Total Architectural															\$ 39,839	\$ 805,720	\$ 187,909

Condition Assessment Matrix

Town of Shrewsbury Town Buildings
01 June, 2016

Facilities Condition Assessment

BUILDING:		FLORAL STREET ELEMENTARY SCHOOL																	
AREA:		Second Floor: Administration, Gymnasium, Cafeteria, Kitchen/ Servery, Classrooms, Media Center, Music Dept.																	
Issue #	Discipline	Location	System	Description	Photo #	PlanGrid Report #	Priority			Service Life			Commentary	Qty	Cost Estimate				
							Low	Med	High	2017	2018 to 2021	2022 to 2026			1 yr	5 yr	10 yr		
2F-1	Arch	Second Floor	Walls	Surface cracks in GWB wall finish; Damaged paint finish due to abrasion of adjacent furnishings against the walls.	A P P E N D I X	#187	X				X Phased		Implement a program of repainting of painted wall and interior door frame surfaces, including repair of damaged GWB (gypsum wallboard) and vinyl wall base. Repainting program may be divided into primary areas of the building spread over a 5- to 7-year period such that finish surfaces are refreshed every 5 to 7 years.	43,612 sf				\$ 324,822	\$ 384,483
2F-2	Arch	Main Corridors	Walls	Grout at ceramic wall tile deteriorated at numerous locations.		#187	X				X Phased		Implement program to repair damaged grout at Corridor wall 6"x 6" wall tile.	1,505 lf x 5' high = 7,525 sf of wall tile				\$ 70,058	
2F-3	Arch	Boy's Toilet Room	Walls	Cracked wall tile	B P H O T O	#187	X				X		Implement program to repair damaged 6"x 6" wall tile.	72 lf x 8' high = 576 sf of wall tile Replace 10%				\$ 2,681	
2F-4	Arch	Girl's Toilet Room	Walls	Cracked wall tile		#187	X				X		Implement program to repair damaged 6"x 6" wall tile.	72 lf x 8' high = 576 sf of wall tile Replace 10%				\$ 2,681	
2F-5	Arch	Elec Room 214	Walls	Wall has water damage possibly from adjacent Janitor Closet sink	F O L D E R	#187			X	X			Investigate and remediate source of water leak; repair damaged wall board at Electrical closet	1 LS	\$ 2,888				
2F-6	Arch	Gym Storage 256	Walls	CMU not sealed at steel beam		#187	X				X		Seal joints between CMU wall and steel beam	16 lf				\$ 931	

Condition Assessment Matrix

BUILDING:		FLORAL STREET ELEMENTARY SCHOOL															
AREA:		Second Floor: Administration, Gymnasium, Cafeteria, Kitchen/ Servery, Classrooms, Media Center, Music Dept.															
Issue #	Discipline	Location	System	Description	Photo #	PlanGrid Report #	Priority			Service Life			Commentary	Qty	Cost Estimate		
							Low	Med	High	2017	2018 to 2021	2022 to 2026			1 yr	5 yr	10 yr
2F-7	Arch	Gym 255	Walls	Efflorescence on surface of CMU wall at exterior north perimeter; evidence of water infiltration.	A P P E N D I X B P H O T O F O L D E R	#187			X	X			Investigate and remediate source of water infiltration; clean surface of cmu wall with appropriate solution to remove efflorescence	810 sf		\$ 2,262	
2F-8	Arch	Gym 255	Walls	Vertical cracks in CMU wall; no control joints		#187	X				X		Cut in vertical control joints at existing crack locations and install backer rod and caulk; Assume (8) 16-foot high cracks/ joints	128 lf		\$ 5,958	
2F-9	Arch	Second Floor	Ceilings	Acoustical ceiling tiles (ACT) typically soiled near HVAC diffusers		#188	X				X Phased		Implement a program of replacing soiled and damaged ceiling tiles to maintain high quality appearance of spaces. Consider use of cleanable tiles near HVAC diffusers to allow for cleaning of dust/ dirt buildup within the supply air coming through the diffusers. (50% complete before YR5 and 50% complete before Y10)	36,212 sf		\$ 134,853	\$ 159,622
2F-10	Arch	Second Floor	Ceilings	ACT ceiling is stained at various locations throughout.		#188	X				X Phased		Stained, rather than simply soiled, ceiling tiles may indicate a more serious issue; Investigate and remediate cause of staining; replace all stained ceiling tiles	Included in 2F-9			
2F-11	Arch	Lobby 259 and Second Floor Corridors 200D, E, F, G	Flooring	Grout joints in porcelain floor tile worn and stained		#189		X			X		Repoint joints in porcelain floor tile and clean entire porcelain floor tile; replace cracked tiles (2%)	3,619 sf		\$ 13,477	

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2F-12	Arch	Corridors 200, 200A, 200B	Flooring	Carpeting is stained and worn	A P P E N D I X B P H O T O F O L D E R	#189		X				X		Implement program to replace carpeting at end of service life	3,502 sf		\$ 32,604	
2F-13	Arch	Second Floor Entries	Flooring	Walk- off Entry mats are worn at 6 locations		#189	X					X		Replace walk-off entry mats	500 sf		\$ 18,620	
2F-14	Arch	Class rooms	Flooring	Carpeting is stained and worn		#189	X					X Phased		Implement program to replace carpeting at end of service life	9185 sf		\$ 85,512	
2F-15	Arch	Class rooms	Flooring	VCT is worn		#189	X					X Phased		Implement program to replace VCT at end of service life	4,752 sf		\$ 90,694	
2F-16	Arch	Stair 1	Flooring	Rubber treads are loose and wearing		#189	X						X	Replace rubber treads and landing rubber flooring at end of service life	43 treads 2 landings			\$ 35,044
2F-17	Arch	Stair 2	Flooring	Rubber treads are loose and wearing		#189	X						X	Replace rubber treads and landing rubber flooring at end of service life	43 treads 2 landings			\$ 35,044
2F-18	Arch	Stair 3	Flooring	Rubber treads are loose and wearing		#189	X						X	Replace rubber treads and landing rubber flooring at end of service life	43 treads 2 landings			\$ 35,044
2F-19	Arch	Room 225 Stage Area	Flooring	Wood stage and steps moderately worn and stained		#189		X				X		Refinish wood at stage floor and steps	675 sf		\$ 12,569	
2F-20	Arch	Room 225 Ramp	Flooring	Ramp flooring is worn; transition at top and bottom missing or worn		#189			X		X			Replace ramp flooring with new rubber flooring with new transition strips top and bottom.	94 sf	\$ 3,572		
2F-13	Arch	Room 225 Cafeteria	Flooring	VCT flooring is moderately worn with opened seams		#189	X						X	Replace VCT at end of service life	4,302 sf			\$ 97,186

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2F-14	Arch	Rooms 226/ 227 Servery/ Kitchen and support spaces	Flooring	6"x 6" quarry tile flooring is stained and grout is heavily stained	APPENDIX	#189		X			X		Clean and repoint grout joints and clean entire floor area	2,769 sf			\$ 10,312
2F-15	Arch	Room 237 Teacher's Lounge	Flooring	Carpet is stained and worn	X	#189		X			X		Replace carpet at end of service life	770 sf			\$ 7,169
2F-16	Arch	Room 261 Media Center	Flooring	Carpet is moderately worn with split seam in one location	PHOTO	#189	X					X	Repair seam (8 feet long) and replace carpet at end of service life	2,974 sf			\$ 32,773
2F-17	Arch	Room 262 Storage	Flooring	VCT is cracked and worn	O	#189		X			X		Replace VCT at end of service life	348 sf			\$ 6,642
2F-18	Arch	Room 256 Gym Storage	Flooring	VCT is cracked and worn	O	#189		X			X		Replace VCT at end of service life	219 sf			\$ 4,180
2F-19	Arch	Gym 255	Flooring	Small area of water damage to wood floor at exterior door threshold	FOLDER	#189		X			X		Replace small area of wood flooring with ceramic tile flooring inside exterior door to resist future water damage	20 sf			\$ 7,448
2F-20	Arch	Room 251 OT & PT	Flooring	VCT flooring cracked at numerous locations	R	#189		X			X		Replace VCT flooring at end of service life	412 sf			\$ 7,863

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2F-21	Arch	Second Floor	Doors	Wood interior doors: finish worn and stained; metal door finish are typically chipped and scraped; hardware handle worn to base metal; binding at frame at multiple locations; silencers worn or missing at most locations	A P P E N D I X	#190		X			X Phased		Implement program to replace all interior single and double doors and hardware nearing end of useful service life; full replacement rather than refinishing/ refurbishing is recommended as more cost effective	Single: 68 Double: 18			\$ 66,101	\$ 78,242
2F-22	Arch	Second Floor	Doors	Metal Entry Doors are missing glazing beads in multiple locations; weather-stripping is worn; hardware is worn and closers are not fully functioning	B P H O T O	#190		X			X		Implement program to replace hardware, including new weather-stripping, exit hardware, closers, and metal thresholds; replace missing glazing beads; adjust doors as required to prevent binding.	14			\$ 67,777	
2F-23	Arch	Room 217 Classroom	Windows	Failed seal at insulated glass unit	F O L D E R	#191		X			X		Replace insulated glass unit at failed location	1			\$ 1,862	
2F-24	Arch	Second Floor	Windows	Damaged screens and loosen operating handle hardware at multiple locations	F O L D E R	#191		X					Implement program to replace damaged screens and loose operating handles	14			\$ 52,136	
2F-25	Arch	Second Floor	Windows	Interior perimeter caulking deteriorated or missing	F O L D E R	#191		X			X		Implement program to replace all perimeter caulking at all windows (assumes no haz-mat abatement required)	4,250 lf			\$ 71,222	

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2F-26	Arch	Second Floor	Windows	Windows will be approaching the end of their service life (25)	A P P E N D I X B P H O T O F O L D E R	#191	X					X	Implement program to replace windows with new thermally broken awning/ fixed windows (assumes 50 SF per window unit and no haz-mat abatement required)	41			\$ 677,730
2F-27	Arch	Second Floor Toilet Rooms	Glass	Mirrors above lav sinks showing signs of deterioration		#192	X					X	Replace 18"(w) x 30"(l) mirrors at each lavatory sink location	16			\$ 2,645
2F-28	Arch	Second Floor Class rooms	Casework	Wood window stools worn and faded		#193	X				X		Refinish wood stools 8" wide	400 lf		\$ 8,193	
2F-29	Arch	Second Floor Class rooms	Casework	Cabinet doors and drawers: misalignment of doors and drawers; finish is worn and delaminated in areas		#193		X			X		Implement program to replace cabinet doors and drawers; 16 cabinet arrays	223 lf		\$ 62,284	
2F-30	Arch	Second Floor Class rooms	Casework	Plastic laminate countertops delaminated in numerous locations		#193		X			X		Replace plastic laminate countertops and backsplashes with solid surface countertops and backsplashes; 16 cabinet arrays- See Details, Sheet A10.1 and A10.2	465 sf		\$ 86,583	
2F-31	Arch	Media Room 261	Casework	Cabinet doors and drawers: misalignment of doors and drawers; finish is worn and delaminated in areas		#193		X			X		Implement program to replace cabinet doors and drawers; 16 cabinet arrays	34 lf		\$ 9,496	

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							Low	Med	High	2017	2018 to 2021	2022 to 2026			1 yr	5 yr	10 yr		
2F-32	Arch	Media Room 261	Casework	Information desk: Cabinet doors and drawers: misalignment of doors and drawers; finish is worn and delaminated in areas	A P P E N D I X B R O W N P H O T O F O L D E R	#193		X				X		Implement program to replace cabinet doors and drawers at Information desk.	30 lf		\$ 8,379		
2F-33	Arch	Media Room 261	Casework	Information desk: Plastic laminate countertops delaminated and worn.		#193		X					X		Replace plastic laminate countertops with solid surface countertops	81 sf		\$ 15,082	
2F-34	Arch	Admin. Corridor 240	Casework	Cabinet doors and drawers: misalignment of doors and drawers; finish is worn and delaminated in areas		#193		X					X		Implement program to replace cabinet doors and drawers	6 lf		\$ 1,676	
2F-35	Arch	Admin. Corridor 240	Casework	Plastic laminate countertops delaminated in numerous locations		#193		X					X		Replace plastic laminate countertops and backsplashes with solid surface countertop and backsplash	13 sf		\$ 2,421	
2F-36	Arch	General Office 239	Casework	Cabinet doors and drawers: misalignment of doors and drawers; finish is worn and delaminated in areas		#193		X					X		Implement program to replace cabinet doors and drawers	39 lf		\$ 10,893	
2F-37	Arch	General Office 239	Casework	Plastic laminate countertops delaminated in numerous locations		#193		X					X		Replace plastic laminate countertops and backsplashes with solid surface countertop and backsplash	81 sf		\$ 15,082	

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2F-38	Arch	General Office 239	Casework	Reception Desk: Cabinet doors and drawers: misalignment of doors and drawers; finish is worn and delaminated in areas	A P P E N D I X	#193		X			X		Implement program to replace cabinet doors and drawers at Reception desk.	18 lf			\$ 5,027
2F-39	Arch	General Office 239	Casework	Reception Desk: Plastic laminate countertops delaminated and worn.		#193		X			X		Replace plastic laminate countertops with solid surface countertops	50 sf			\$ 9,310
2F-40	Arch	OT & PT 251	Casework	Cabinet doors and drawers: misalignment of doors and drawers; finish is worn and delaminated in areas		#193		X			X		Implement program to replace cabinet doors and drawers	15 lf			\$ 4,190
2F-41	Arch	OT & PT 251	Casework	Plastic laminate countertops delaminated in numerous locations	P H O T O	#193		X			X		Replace plastic laminate countertops and backsplashes with solid surface countertop and backsplash	32 sf			\$ 5,958
2F-42	Arch	Second Floor	Light Fixture	Linear pendant fixtures; assume (2) T-8 per 4-foot section		#194		X			X	Phased	Implement program to revamp linear pendant fixtures: (2) T-8 per 4-foot section Replace 10% per year over 10 years	(380) 4-ft sections	\$ 38,122	\$ 46,699	\$ 55,276
2F-37	Arch	Second Floor	Light Fixture	2x4 recessed fixtures; assume (3) T-8 per unit		#194		X			X	Phased	Implement program to revamp 2x4 recessed fixtures: (3) T-8 per unit Replace 10% per year over 10 years	200 fixture units	\$ 20,064	\$ 24,578	\$ 29,093
2F-38	Arch	Gymnasium	Light Fixture	Pendant metal halide are operational; normal maintenance	F O L D E R	#194		X			X	Phased	Implement program to revamp pendant metal halide lamps Replace 2 lamps per year over 10 years	20 fixtures	\$ 2,006	\$ 2,458	\$ 2,909

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2F-39	Arch	Stage	Light Fixture	Recessed downlights are older CF technology	APPENDIX B PHOTO FOLDER	N/A		X			X		Replace existing recessed downlights with new LED recessed fixtures	16 fixtures		\$ 20,854	
2F-40	Arch	Boy's Toilet 210	Mech Fixture	Corrosion at wall heater cover		#196		X			X		Replace 48"(w) x 30"(h) wall heater cover	1		\$ 1,676	
2F-41	Arch	Second Floor	Mech Fixture	HVAC diffusers dirty		#196		X			X		Implement program to clean and repaint all ceiling diffusers/registers	126		\$ 22,288	
2F-42	Arch	Second Floor	Electrical	Loose or missing outlet covers at multiple locations		#197		X			X		Tighten/ replace loose and missing outlet covers	20		\$ 2,234	
2F-43	Arch	Second Floor	Plumbing	Water cooler dispensing warm water		#198			X	X			Service all water coolers	6	\$ 22,800		
2F-44	Arch	Second Floor	Toilet Rooms	Existing faucets are Chicago type valves		N/A		X			X		Replace Chicago type faucet with hands-free sensor faucets	17		\$ 25,323	
2F-45	Arch	Elec Room 253	Code Issue	Missing fire stopping system at conduit ceiling		#199			X	X			Install fire stopping system at conduit ceiling penetrations	1 LS	\$ 3,800		

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2F-46	Arch	Stairs	Code Issue	Existing guards at Stairs have openings greater than 4-inches; Construction Drawings dated August 1995, Sheet A-6.2 indicate a clear spacing of balusters at 5 1/2" max.; assumption is made that this spacing is in conformance with the building code at the time, although not in conformance with 780 CMR 6th Edition and subsequent editions of 780 CMR Per 780 CMR (6th Edition) 1021.3 guards shall have balusters or be of solid material such that a sphere with a diameter of four inches (102 mm) cannot pass through any opening.	A P P E N D I X B P H O T O F O L D E R	#199							Existing condition allowed by code in place at time of construction.	No action			

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2F-47	Arch	Second Floor Corridor	Code Issue	Existing exit access passageways and corridors are finished with combustible materials	A P P E N D I X	#199							Replacement of existing wall, ceiling and floor finishes to be in conformance with 780 CMR Table 803.9 INTERIOR WALL AND CEILING FINISH REQUIREMENTS BY OCCUPANCY and Section 804 INTERIOR FLOOR FINISH	Record			
2F-48	Arch	Doors 200A, 200C, 200D	Code Issue	Double corridor doors on magnetic hold opens, but not labeled with a fire rating		#199							Original Construction Drawings indicate No label for these doors, but do call for magnetic hold-open.	Record			
2F-49	Arch	Room 215 Music	Code issue	Missing Exit signs at 2 egress doors		B	#199			X	X		Install Exit signs at each of the 2 egress doors from the Room	2	\$ 2,432		
2F-50	Arch	Room 236 Cafeteria Storage	Code Issue	Room used as an office; no level handle on door lockset	P H O T O	#199			X	X		Replace existing lock assembly with lockset with lever handle	1	\$ 1,216			
2F-51	Arch	Corridor 234	Code Issue	Lever handle on storm door not code compliant		#199			X	X		Replace lockset and lever handle at storm door with code compliant lockset and leverhandle	1	\$ 1,368			
2F-52	Arch	Room 230 Trash	Code Issue	HVAC Condenser unit installed in Room.		#199			X	X		Remove condensing unit from Room and installed new exterior condensing unit in its place.	1	\$ 9,880			
2F-53	Arch	Second Floor	General Note	Window shades not operating smoothly	F O L D E R	#200		X			X	Implement program to replace window shades when nearing end of service life	41		\$ 22,903		
2F-54	Arch	Practice Room 215B	General Note	Practice Room used for Storage		#200						For information only - no action required.	N/A				
2F-55	Arch	Practice Room 215C	General Note	Practice Room used as Office		#200						For information only - no action required.	N/A				

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2F-56	Arch	Dry Food Storeroom 228	General Note	No access to room; master key does not work	A P P E N D I X	#200			X	X			Lockset may require replacement	1	\$ 760		
2F-57	Arch	Computer Room 264	General Note	Room used as a general classroom		#200							Per 780 CMR table 1015.1, if occupancy for a room in E use group exceeds 49, a second means of egress is required. Second egress from Room 264 is through Media Center. To comply with code, this door must remain unlocked.	N/A			
2F-58	Arch	Storage Room 262	General Note	Storage Room used as Office		X	#200						For information only - no action required.	N/A			
2F-59	Arch	Storage Room 263	General Note	Storage Room used as a Data Closet		B P H O T O	#200						For information only - no action required.	N/A			
2F-60	Arch	Janitor Closet 250	General Note	Janitor Closet used as a Storage Room for gym equipment	#200								For information only - no action required.	N/A			
2F-61	Arch	Cafeteria 255	Cleaning	Cover of perimeter pedestal radiation is heavily stained and soiled	#202			X			X		Clean enclosure of pedestal radiation units	60 lf		\$ 2,234	
2F-62	Arch	Room 230 Trash	Cleaning	Room is extremely soiled	#202		X			X		Clean janitor sink and tile flooring	72 sf		\$ 938		
2F-63	Arch	Class room 205	ADA Issue	Exposed drain pipes under sink not fully insulated		#203			X	X		Install Tru-bro pipe insulation.	1	\$ 912			
2F-64	Arch	Faculty Storage/ Work Room 207	ADA Issue	Sink is not accessible	F O L D E R	#203			X	X		Change out base cabinet and sink to provide accessible sink arrangement	1 LS	\$ 3,800			
2F-65	Arch	Boy's Toilet Room 210	ADA Issue	Trash receptacle interferes with clearance requirement to sink		#203			X	X		Replace floor mounted receptacle with recessed receptacle	1	\$ 1,064			

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2F-66	Arch	Girl's Toilet Room 211	ADA Issue	Trash receptacle interferes with clearance requirement to sink	A P P E N D I X B P H O T O F O L D E R	#203			X	X			Replace floor mounted receptacle with recessed receptacle	1	\$ 1,064		
2F-67	Arch	Special Ed Room 209	ADA Issue	Sink is not accessible		#203			X	X			Change out base cabinet and sink to provide accessible sink arrangement	1 LS	\$ 3,800		
2F-68	Arch	Special Ed Room 208	ADA Issue	Sink is not accessible		#203			X	X			Change out base cabinet and sink to provide accessible sink arrangement	1 LS	\$ 3,800		
2F-69	Arch	Toilet Room 212	Code Issue (ADA)	Single use toiletry rooms have in-swing doors		#218							In single-user toilet rooms or bathing rooms, Section 603.2.3 Exception 2 of the 2010 Standards (ADA) permits the door to swing into the clear floor space of an accessible fixture if a clear floor space that measures at least 30 inches by 48 inches is provided outside of the door swing.(See also 521 CMR 30.4); A 30-inch x 48-inch clear floor space is provided beyond the swing of the door; therefore the toilet rooms comply with ADA and 521 CMR. No Action Required.	No Action			
2F-70	Arch	Toilet Room 213	ADA Issue	Door swings into required clearance	#203							See 2F-69 above	No Action				
2F-71	Arch	Toilet Room 212	ADA Issue	Trash receptacle interferes with clearance requirement to sink	#203			X	X			Replace floor mounted receptacle with recessed receptacle	1	\$ 1,064			
2F-72	Arch	Toilet Room 213	ADA Issue	Trash receptacle interferes with clearance requirement to sink	#203			X	X			Replace floor mounted receptacle with recessed receptacle	1	\$ 1,064			

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2F-73	Arch	Egress landing at Stair 3	ADA Issue	Exterior landing and egress not accessible	A P P E N D - I X B P H O T O F O L D E R	#203			X	X			Provide accessible paving and walkway to a public way from the existing stone landing	50 sf	\$ 15,200		
2F-74	Arch	Special Ed Room 223	ADA Issue	Sink is not accessible		#203			X	X			Change out base cabinet and sink to provide accessible sink arrangement	1 LS	\$ 11,400		
2F-75	Arch	Room 236 Cafeteria Storage	ADA Issue	Room is used as an office; door hardware is not accessible		#203			X	X			Replace door hardware with lever handle lockset	1 LS	\$ 760		
2F-76	Arch	Room 225-Door 225D	ADA Issue	Transition between exterior landing and walkway is too high		#203			X	X			Install transition to provide accessibility	1 LS	\$ 1,216		
2F-77	Arch	Toilet Room 233	ADA Issue	Door swings into required clearance; no coat hook		#203			X	X			Replace door and frame with new out swinging door; provide coat hook on door	1 LS	\$ 9,880		
2F-78	Arch	Toilet Room 232	ADA Issue	Door swings into required clearance; no coat hook		#203			X	X			Replace door and frame with new out swinging door; provide coat hook on door	1 LS	\$ 9,880		
2F-79	Arch	Kitchen 227	ADA Issue	Both stainless steel hand wash sinks are not accessible		#203			X	X			Replace sink in recess with new accessible sink and faucet	1	\$ 4,560		
2F-80	Arch	Special Ed Room 223A	ADA Issue	Sink is not accessible		#203			X	X			Change out base cabinet and sink to provide accessible sink arrangement	1 LS	\$ 3,800		
2F-81	Arch	Class room 217	ADA Issue	Exposed drain pipes under sink not fully insulated		#203			X	X			Install Tru-bro pipe insulation.	1	\$ 912		
2F-82	Arch	Faculty Dining 237	ADA Issue	Sink is not accessible		#203			X	X			Change out base cabinet and sink to provide accessible sink arrangement	1 LS	\$ 3,800		
2F-83	Arch	Storage Room 262	ADA Issue	Sink is not accessible	#203			X	X			Change out base cabinet and sink to provide accessible sink arrangement	1 LS	\$ 3,800			
2F-84	Arch	Men's Toilet Room 257	ADA Issue	Accessible toilet stall door not self closing	#203			X	X			Change out door hardware to provide self-closing function	1 LS	\$ 5,320			

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Issue #	Discipline	Location	System	Description	Photo #	PlanGrid Report #	Priority			Service Life			Commentary	Qty	Cost Estimate		
							Low	Med	High	2017	2018 to 2021	2022 to 2026			1 yr	5 yr	10 yr
2F-85	Arch	Women's Toilet Room 258	ADA Issue	Accessible toilet stall door not self closing	A P P E N D I X B	#203			X	X			Change out door hardware to provide self-closing function	1 LS	\$ 5,320		
2F-86	Arch	Gymnasium 255	ADA Issue	Drinking fountains are not accessible		#203			X	X			No immediate action required. Future projects may require adjustment of height to conform	No Action			
2F-87	Arch	Gymnasium 255	ADA Issue	Exterior landings at Doors 255A and 255B are not accessible		#203				X			Revise exterior walkways to provide accessible egress to public way	2 LS	\$ 15,200		
2F-88	Arch	Classrooms	ADA Issue	Typical Classroom sink has a counter height of 30" and 22 1/2" clear to bottom of apron, which is not accessible		#203			X	X			Replace countertop, apron and sink to provide counter height at 34" and a clearance of 27" min. to bottom of apron, and new accessible sink and faucet	13 EA	\$ 148,200		
2F-89	Arch	Toilet Room 247	Code Issue (ADA)	Single use toiletry rooms have in-swing doors		#203							In single-user toilet rooms or bathing rooms, Section 603.2.3 Exception 2 of the 2010 Standards (ADA) permits the door to swing into the clear floor space of an accessible fixture if a clear floor space that measures at least 30 inches by 48 inches is provided outside of the door swing.(See also 521 CMR 30.4); A 30-inch x 48-inch clear floor space is provided beyond the swing of the door; therefore the toilet rooms comply with ADA and 521 CMR. No Action Required.	No Action			
2F-90	Arch	Toilet Room 248C	ADA Issue	Single use toilet rooms have in-swing doors	#203							See 2F-89 above	No Action				

Condition Assessment Matrix

BUILDING:		FLORAL STREET ELEMENTARY SCHOOL															
AREA:		Second Floor: Administration, Gymnasium, Cafeteria, Kitchen/ Servery, Classrooms, Media Center, Music Dept.															
Issue #	Discipline	Location	System	Description	Photo #	PlanGrid Report #	Priority			Service Life			Commentary	Qty	Cost Estimate		
							Low	Med	High	2017	2018 to 2021	2022 to 2026			1 yr	5 yr	10 yr
2F-91	Arch	Resting Room 248A	ADA Issue	Towel dispenser obstructs clearance at sink	APPENDIX B PHOTO FOLDER	#203			X	X			Relocate towel dispenser to provide clearance at sink	1 LS	\$ 608		
2F-92	Arch	Corridor 240	ADA Issue	Sink at recess in Corridor is too high at 35 1/2"		#203			X	X			Replace countertop to provide accessible sink configuration	1 LS	\$ 9,120		
2F-93	Arch	Toilet Room 245	ADA Issue	Single use toiletry rooms have in-swing doors		#203							See 2F-89 above	No Action			
															1 yr	5 yr	10 yr
													Total Architectural		\$ 374,452	\$ 1,517,194	\$ 1,625,092

Condition Assessment Matrix

BUILDING:		FLORAL STREET ELEMENTARY SCHOOL																	
AREA:		Third Floor: Classrooms and Art Department																	
Issue #	Discipline	Location	System	Description	Photo #	PlanGrid Report #	Priority			Service Life			Commentary	Qty	Cost Estimate				
							Low	Med	High	2017	2018 to 2021	2022 to 2026			1 yr	5 yr	10 yr		
3F-1	Arch	Third Floor	Walls	Surface cracks in GWB wall finish; Damaged paint finish due to abrasion of adjacent furnishings against the walls.	A P P E N D I C H P H O T O F O L D E R	#204 #217	X					X Phased	Implement a program of repainting of painted wall and interior door frame surfaces, including repair of damaged GWB (gypsum wallboard) and vinyl wall base. Repainting program may be divided into primary areas of the building spread over a 5- to 7-year period such that finish surfaces are refreshed every 5 to 7 years.	17,765 sf				\$ 132,314	\$ 384,483
3F-2	Arch	Third Floor	Ceilings	Acoustical ceiling tiles (ACT) typically soiled near HVAC diffusers		#205	X					X Phased	Implement a program of replacing soiled and damaged ceiling tiles to maintain high quality appearance of spaces. Consider use of cleanable tiles near HVAC diffusers to allow for cleaning of dust/ dirt buildup within the supply air coming through the diffusers.	17,765 sf				\$ 66,157	\$ 78,308
3F-3	Arch	Third Floor	Flooring	Carpeting is stained and worn		#206		X				X	Implement program to replace carpeting at end of service life	11,460 sf				\$ 106,693	
3F-4	Arch	Third Floor Class rooms and Storage Rooms	Flooring	VCT flooring finish is worn.		#206		X				X	Refinish VCT flooring;	5,454 sf				\$ 12,694	
3F-5	Arch	Third Floor Stairs	Flooring	Rubber treads and risers worn		#206	X					X	Replace rubber treads and risers at end of service life	Included in 2F-17					

Condition Assessment Matrix

BUILDING:		FLORAL STREET ELEMENTARY SCHOOL																
AREA:		Third Floor: Classrooms and Art Department																
Issue #	Discipline	Location	System	Description	Photo #	PlanGrid Report #	Priority			Service Life			Commentary	Qty	Cost Estimate			
							Low	Med	High	2017	2018 to 2021	2022 to 2026			1 yr	5 yr	10 yr	
3F-6	Arch	Third Floor	Doors	Wood interior doors: finish worn and stained; metal door finish are typically chipped and scraped; hardware handle worn to base metal; binding at frame at multiple locations; silencers worn or missing at most locations	A P P E N D I X B P H O T O F O L D E R	#207		X			X		Implement program to replace all interior single and double doors and hardware nearing end of useful service life; full replacement rather than refinishing/ refurbishing is recommended as more cost effective	Single: 33 Double: 7				\$ 139,091
3F-7	Arch	Rooms 315, 319, 320	Windows	Failed seal at insulated glass unit		#208		X			X		Replace insulated glass unit at failed location	3				\$ 5,027
3F-8	Arch	Third Floor	Windows	Damaged screens and loosen operating handle hardware at multiple locations		#208		X			X		Implement program to replace damaged screens and loose operating handles	6				\$ 16,758
3F-9	Arch	Third Floor	Windows	Windows will be approaching the end of their service life (25)		#208		X				X	Implement program to replace windows with new thermally broken awning/ fixed windows	23				\$ 329,498
3F-10	Arch	Third Floor	Window Glazing	Failed sealant at interior window perimeter		#208		X			X		Implement replacement of perimeter sealant at all windows.	2,931 lf				\$ 49,118
3F-11	Arch	Third Floor	Window Glazing	Window shade frayed along edge		N/A		X				X	Implement survey of all window shades and replace frayed shades	23				\$ 12,848
3F-12	Arch	Third Floor Toilet Rooms	Glass	Mirrors above lav sinks showing signs of deterioration		#209		X				X	Replace 18"(w) x 30"(l) mirrors at each lavatory sink location	6				\$ 2,645

Condition Assessment Matrix

BUILDING:		FLORAL STREET ELEMENTARY SCHOOL															
AREA:		Third Floor: Classrooms and Art Department															
Issue #	Discipline	Location	System	Description	Photo #	PlanGrid Report #	Priority			Service Life			Commentary	Qty	Cost Estimate		
							Low	Med	High	2017	2018 to 2021	2022 to 2026			1 yr	5 yr	10 yr
3F-13	Arch	Class rooms	Case work	Base cabinets doors out of adjustment	APPENDIX	#210		X			X		Adjust base cabinet doors; replace hinges See Details Sheet A10.2	192 lf		\$ 17,875	
3F-14	Arch	Special Ed Rooms	Case work	Base cabinets doors out of adjustment		#210		X			X		Adjust base cabinet doors; replace hinges See Details Sheet A10.2	28 lf		\$ 2,607	
3F-15	Arch	Art Room 315	Case work	Base cabinets doors out of adjustment		#210		X			X		Adjust base cabinet doors; replace hinges See Details Sheet A10.2	28 lf		\$ 2,607	
3F-16	Arch	Third Floor	Case work	Plastic laminate countertops delaminated in numerous locations		#210		X			X		Replace plastic laminate countertops and backsplashes with solid surface countertops and backsplashes; 16 cabinet arrays- See Details, Sheet A10.1 and A10.2	283 sf		\$ 26,347	\$ 31,187
3F-17	Arch	Third Floor	Case work	Wood window stools worn and faded		#210	X				X		Refinish wood stools 8" wide	400 lf		\$ 8,193	
3F-18	Arch	Third Floor	Light Fixture	Linear pendant fixtures; assume (2) T-8 per 4-foot section	PHOTO	#211		X		X Phased			Implement program to revamp linear pendant fixtures: (2) T-8 per 4-foot section Replace 10% per year over 10 years	(272) 4-ft sections	\$ 27,287	\$ 33,427	\$ 39,566
3F-19	Arch	Third Floor	Light Fixture	2x4 recessed fixtures; assume (3) T-8 per unit		#211		X		X Phased			Implement program to revamp 2x4 recessed fixtures: (3) T-8 per unit Replace 10% per year over 10 years	62 fixture units	\$ 6,220	\$ 7,619	\$ 9,019
3F-20	Arch	Third Floor	Equip.	Fire Extinguishers expired	FOLD	N/A			X	X			Re-charge all fire extinguishers	5	\$ 2,280		
3F-21	Arch	Third Floor	Mech Fixt.	HVAC ceiling registers dirty		#212		X			X		Implement program to clean all ceiling and wall registers	30		\$ 5,586	
3F-22	Arch	Class room 301, 317	Mech Fixt.	Missing sections of enclosure of fin tube radiation baseboard		#212		X			X		Install missing sections of enclosure at fin tube radiation baseboard	10		\$ 14,896	

Condition Assessment Matrix

Town of Shrewsbury Town Buildings
01 June, 2016

Facilities Condition Assessment

BUILDING:		FLORAL STREET ELEMENTARY SCHOOL																	
AREA:		Third Floor: Classrooms and Art Department																	
Issue #	Discipline	Location	System	Description	Photo #	PlanGrid Report #	Priority			Service Life			Commentary	Qty	Cost Estimate				
							Low	Med	High	2017	2018 to 2021	2022 to 2026			1 yr	5 yr	10 yr		
3F-23	Arch	Third Floor	Electrical	Missing cover plates at switches and outlets; some loose receptacles	APPENDIX PHOTO FOLDER	#213			X	X			Install missing cover plates	8	\$	1,824			
3F-24	Arch	Third Floor Classrooms	Elec Lights	Linear pendant lights: debris on top side of lens; lamping color is irregular		#64		X			X			Implement program to clean debris from top side of linear pendant fixtures; re-lamp with building standard lamps ((12) T-8 per 24-ft fixture)				\$	18,620
3F-25	Arch	Third Floor Toilet Rooms	Plumb	Chicago Manual Push Faucets nearing end of service life		NA		X			X			Implement program to replace existing faucets with new Sloan hands-free faucets	6			\$	8,938
3F-26	Arch	Third Floor Toilet Rooms	Plumb	Under sink pipe insulation damaged and dislodging in some locations		NA		X			X			Replace damaged under sink pipe insulation where damaged and loose	3			\$	372
3F-27	Arch	Corridor 300B	Plumb	Drinking fountain motor very loud		#214		X			X			Service drinking fountain; replace motor	1 LS			\$	3,724
3F-28	Arch	Corridors	Code Issue	Existing exit access passageways and corridors are finished with combustible materials		#215								Replacement of existing wall, ceiling and floor finishes to be in conformance with 780 CMR Table 803.9 INTERIOR WALL AND CEILING FINISH REQUIREMENTS BY OCCUPANCY and Section 804 INTERIOR FLOOR FINISH	Record				
3F-29	Arch	Corridor 300B	Code	Fire extinguisher cabinet missing glass in view window leaving sharp edges		#215			X	X				Install glass vision panel in opening	2	\$	304		

Condition Assessment Matrix

BUILDING:		FLORAL STREET ELEMENTARY SCHOOL															
AREA:		Third Floor: Classrooms and Art Department															
Issue #	Discipline	Location	System	Description	Photo #	PlanGrid Report #	Priority			Service Life			Commentary	Qty	Cost Estimate		
							Low	Med	High	2017	2018 to 2021	2022 to 2026			1 yr	5 yr	10 yr
3F-30	Arch	Elec Room 314	Code	Ceiling penetration is not fire stopped; may be a rated ceiling assembly.	A P P E N D I X B P H O T O F O L D E R	#215			X	X			Firestop penetration	1	\$ 760		
3F-31	Arch	Stairs	Code Issue	Existing guards at Stairs have openings greater than 4-inches; Construction Drawings dated August 1995, Sheet A-6.2 indicate a clear spacing of balusters at 5 1/2" max.; assumption is made that this spacing is in conformance with the building code at the time, although not in conformance with 780 CMR 6th Edition and subsequent editions of 780 CMR Per 780 CMR (6th Edition) 1021.3 guards shall have balusters or be of solid material such that a sphere with a diameter of four inches (102 mm) cannot pass through any opening.		#215							Existing condition allowed by code in place at time of construction.	No action			

Condition Assessment Matrix

BUILDING:		FLORAL STREET ELEMENTARY SCHOOL																
AREA:		Third Floor: Classrooms and Art Department																
Issue #	Discipline	Location	System	Description	Photo #	PlanGrid Report #	Priority			Service Life			Commentary	Qty	Cost Estimate			
							Low	Med	High	2017	2018 to 2021	2022 to 2026			1 yr	5 yr	10 yr	
3F-32	Arch	Class 327 Stor 326	General Note	Wall opened between Special Ed Classroom 327 and Storage 326 to make one room (change from plan drawing)	A P P E N D I X B P H O T O F O L D E R	#216							Record	No Action				
3F-33	Arch	Third Floor	General Note	Window shades do not operate smoothly		#216	X				X Phased		Implement program to replace window shades	100 shades (48" wide)			\$ 27,930	\$ 33,060
3F-34	Arch	Special Ed 308, 309 faculty Storage 307	Code Issue (ADA)	sinks are not accessible		#218							Replace base cabinet and kitchen type sink to be handicap accessible/ ADA compliant	3	\$ 27,360			
3F-35	Arch	Third Floor Classrooms		Exposed drain pies under accessible sink not fully insulated		#218							Install new Tru-bro pipe insulation at exposed drain pipes at sink locations	12 sets	\$ 10,944			

Condition Assessment Matrix

BUILDING:		FLORAL STREET ELEMENTARY SCHOOL															
AREA:		Third Floor: Classrooms and Art Department															
Issue #	Discipline	Location	System	Description	Photo #	PlanGrid Report #	Priority			Service Life			Commentary	Qty	Cost Estimate		
							Low	Med	High	2017	2018 to 2021	2022 to 2026			1 yr	5 yr	10 yr
3F-36	Arch	Toilet Rooms 312, 313	Code Issue (ADA)	Single use toiletry rooms have in-swing doors	A P P E N D I X B	#218							In single-user toilet rooms or bathing rooms, Section 603.2.3 Exception 2 of the 2010 Standards (ADA) permits the door to swing into the clear floor space of an accessible fixture if a clear floor space that measures at least 30 inches by 48 inches is provided outside of the door swing.(See also 521 CMR 30.4); A 30-inch x 48-inch clear floor space is provided beyond the swing of the door; therefore the toilet rooms comply with ADA and 521 CMR. No Action Required.	No Action			
3F-37	Arch	Men's Toilet Room 310	Code Issue	Door to accessible stall is not self-closing; crack at latch; coat hook mounted too high-should be at 54" Max above floor	P H O T O	#218			X	X			Replace toilet stall door hardware to provide self-closing feature; replace door due to crack. Mount coat hook at 54" above floor onto new door (stall side)	1 door 1 hardware set	\$ 4,560		
3F-38	Arch	Women's Toilet Room 311	Code Issue	Door to accessible stall is not self-closing; coat hook is broken	F O L D E R	#218			X	X			Replace toilet stall door hardware to provide self-closing feature; Replace out coat hook and mount at 54" above floor onto new door (stall side)	1 hardware set	\$ 4,560		
3f_39	Arch	Special Ed Room 323	Code issue (ADA)	sink and sink base are not accessible	F O L D E R	#218			X	X			Replace sink base and kitchen type sink with new accessible counter and sink/ faucet assembly	1 LS	\$ 11,400		

Condition Assessment Matrix

BUILDING:		FLORAL STREET ELEMENTARY SCHOOL															
AREA:		Third Floor: Classrooms and Art Department															
Issue #	Discipline	Location	System	Description	Photo #	PlanGrid Report #	Priority			Service Life			Commentary	Qty	Cost Estimate		
							Low	Med	High	2017	2018 to 2021	2022 to 2026			1 yr	5 yr	10 yr
3F-40	Arch	Special Ed Room 323A	Code issue (ADA)	sink and sink base are not accessible	APPENDIX B PHOTO REFERENCE	#218			X	X			Replace sink base and kitchen type sink with new accessible counter and sink/ faucet assembly	1 LS	\$ 11,400		
3F-41	Arch	Art Room 315	Code issue (ADA)	3-sink array is not accessible due to under sink piping configuration preventing required clearance		#218			X	X			Assess functional requirements for sink array (specialized drainage) and replace 3-sink array and counter with new array; Install new accessible sink array with required specialized drainage to provide equal functionality; each array includes 3 kitchen type sinks; faucet per sink and specialized drainage for art chemicals and paints	2 arrays	\$ 12,160		
3F-42	Arch	Corridor 300B	Code Issue (ADA)	Clear knee space at lower drinking fountain is 26 1/2". 27" min. required		#218							521 CMR 2.4.4 Tolerances allows 1/2" tolerance for dimensional requirements greater than 2' but less than 36". Condition complies	No Action			
3F-43	Arch	Stair 3	Code Issue (ADA)	Handrail is not continuous at inside railing from flight to flight		218			X	X			Install "U-Shaped wood railing to provide continuity from end of one handrail to beginning of other; (2) 90-degree components plus required extensions, connecting	1 LS	\$ 9,120		
															1 yr	5 yr	10 yr
Total Architectural															\$ 130,179	\$ 719,440	\$ 907,766

Condition Assessment Matrix

BUILDING:				FLORAL STREET SCHOOL												
AREA:				Building Envelope												
Issue #	Discipline	Location	System	Description	Photo #	Priority			Service Life			Commentary	Quantity	Cost Estimate		
						Low	Med	High	2017	2018 to 2021	2022 to 2026			1 yr	5 yr	10 yr
E-1	Envelope	Typical	Walls	Failed sealants at wall transitions, penetrations, expansion joints, and window perimeters			X		X			Replace failed sealants; plan for regular sealant maintenance including replacement approximately every 5-10 years.	7,500 lf (approx. 75%)	\$285,000		
E-2	Envelope	Typical	Walls	Deteriorated mortar joints			X		X			Rout and point mortar joints. Assume 5% pointing within 3-5 years. Assume 100% pointing after 2026.	5% = ± 2,000 sf 100% = ± 40,000 sf		\$111,720	\$2,512,560
E-3	Envelope	Typical	Walls	Cracked and displaced masonry				X	X			Investigate cracked masonry to determine the cause of cracking. Repair cracks by routing and sealing (moving cracks) or pointing (static cracks). Secure masonry to backup structure with restoration anchors.	500 sf	\$34,200		
E-4	Envelope	Typical	Walls	Cracked stone masonry			X		X			Investigate cracked masonry to determine the cause of cracking. Repair cracks by routing and sealing (moving cracks) or pointing (static cracks).	50 sf		\$6,052	
E-5	Envelope	Typical	Walls	Damaged metal gutters and downspouts, missing downspouts		X			X		X	Replace missing downspouts in 2017. Repair damaged downspouts and gutters as budget allows.	2 missing downspouts; 6 damaged downspouts/gutters	\$1,824		\$16,530
E-6	Envelope	Typical	Roof	Broken asphalt roofing shingles, missing tabs				X	X			Replace damaged roofing shingles.	200 sf	\$6,080		
E-7	Envelope	Southwest corner upper roof	Roof	Gap in roofing materials at base of roof hip, exposed wood structure				X	X			Repair roofing materials at base of hip, including removing existing shingles, providing self-adhering underlayment, and new shingles.	1 location	\$15,200		
E-8	Envelope	Typical	Roof	Exposed nails, face nailed shingles				X	X			Replace face-nailed shingles.	200 sf	\$6,080		

Condition Assessment Matrix

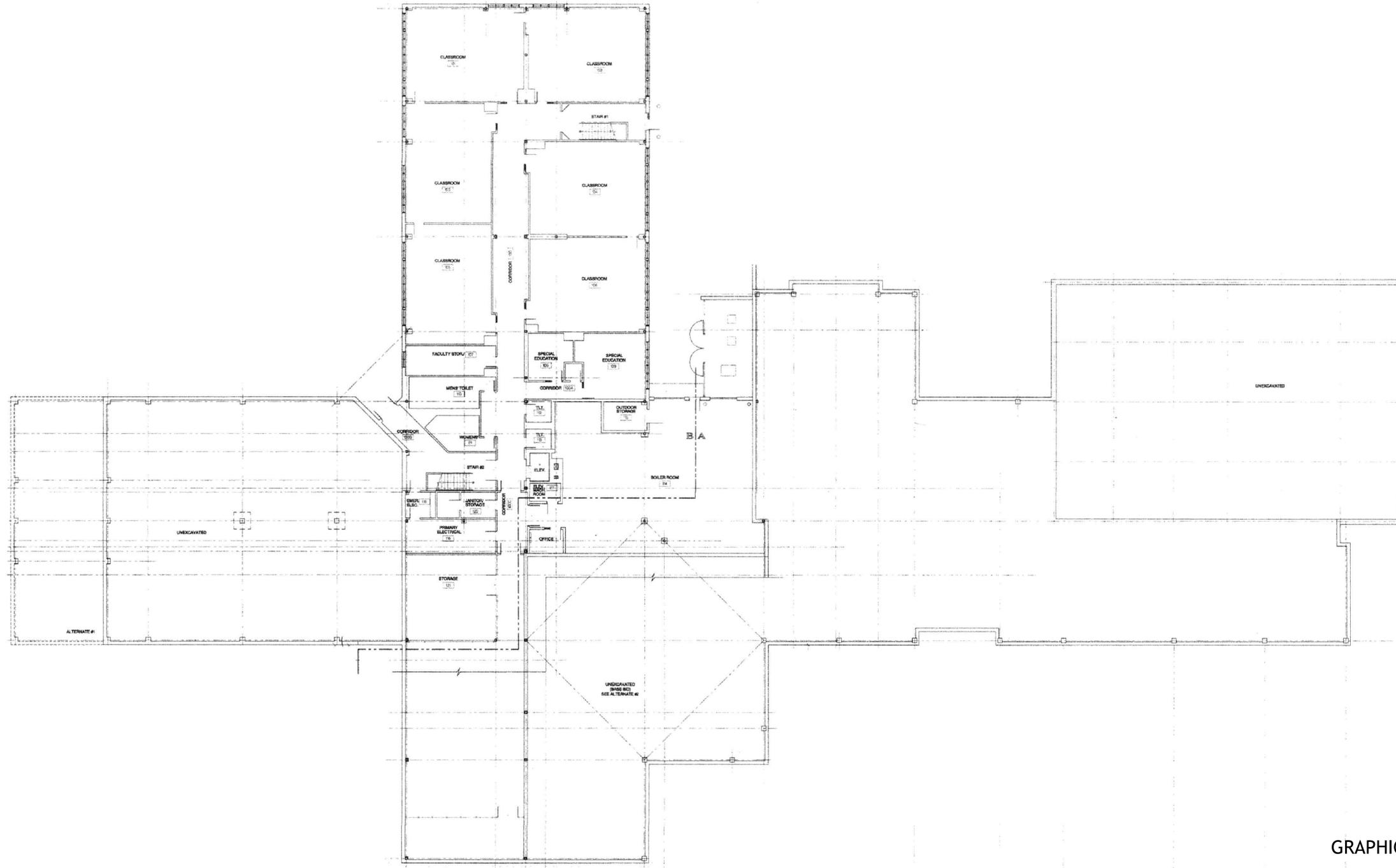
BUILDING:				FLORAL STREET SCHOOL																
AREA:				Building Envelope																
Issue #	Discipline	Location	System	Description	Photo #	Priority			Service Life			Commentary	Quantity	Cost Estimate						
						Low	Med	High	2017	2018 to 2021	2022 to 2026			1 yr	5 yr	10 yr				
E-9	Envelope	Typical	Roof	Shingles have map cracking, granule loss, and blisters		X						X	Granule loss, blisters, and cracking are signs of age, however shingles are functional currently. Plan for 100% replacement in 2022 to 2026.	50,000 sf			\$1,653,000			
E-10	Envelope	Front Entrance	Roof	Standing water in gutters		X						X	Reslope gutters if standing water results in leakage at joints.	1 location			\$66,120			
															1 yr	5 yr	10 yr			
														Exterior Envelope Cost Total				\$348,384	\$117,772	\$4,248,210

Condition Assessment Matrix

BUILDING:				FLORAL STREET SCHOOL												
AREA: 94,000 sf																
Issue #	Discipline	Location	System	Description	Photo #	Priority			Service Life			Commentary	Quantity	Cost Estimate		
						Low	Med	High	2017	2018 to 2021	2022 to 2026			1 yr	5 yr	10 yr
EL1	Electrical	Gym	Lighting	Provide new 6-lamp T5 high bay fluorescent fixtures	FSS E1	X					X	See Electrical Narrative	16			\$14,106
EL2	Electrical	throughout	Lighting	Provide all new LED lighting throughout the school	FSS E2	X					X	See Electrical Narrative	94,000 Square Feet			\$1,657,408
EL3	Electrical	throughout	Fire Alarm	Provide a new addressable Voice Evacuation Fire Alarm System	FSS E3	X					X	See Electrical Narrative	94,000 Square Feet			\$1,035,880
H1	HVAC	Boiler Room	Heating	Install VFD's on Hot Water Pumps	FSS M2	X				X		See HVAC Narrative	4		\$18,620	
H2	HVAC	Various	HVAC	Install a new DDC system and update the controls building wide (remove all pneumatic controls)	FSS M8		X			X		See HVAC Narrative	94,000 Square Feet		\$1,312,710	
H3	HVAC	Outside	HVAC	Remove existing 10,000 Gallon underground Fuel Oil storage Tank	NA			X	X			See HVAC Narrative (assumes outside of bldg footprint & Owner disposes of oil)	1	\$30,400		
H4	HVAC	Boiler Room	Heating	Repair leaking at hot water pump P-6	FSS			X	X			See HVAC Narrative	1			\$2,535
P1	Plumbing	Rest rooms	Plumbing	Replace existing water closets flush valves with automatic flush valves	FFS P1	X					X	See Plumbing Narrative	35			\$57,855
P2	Plumbing	Rest rooms	Plumbing	Replace existing urinals flush valves with automatic flush valves	FFS P2	X					X	See Plumbing Narrative	15			\$21,489
P3	Plumbing	Rest rooms	Plumbing	Replace existing lavatories faucets with automatic faucets	FF2 P2	X					X	See Plumbing Narrative	65			\$121,771



Project North



GRAPHIC SCALE

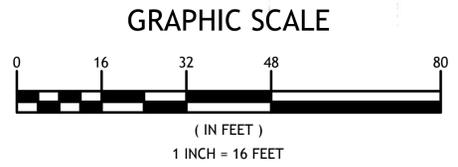
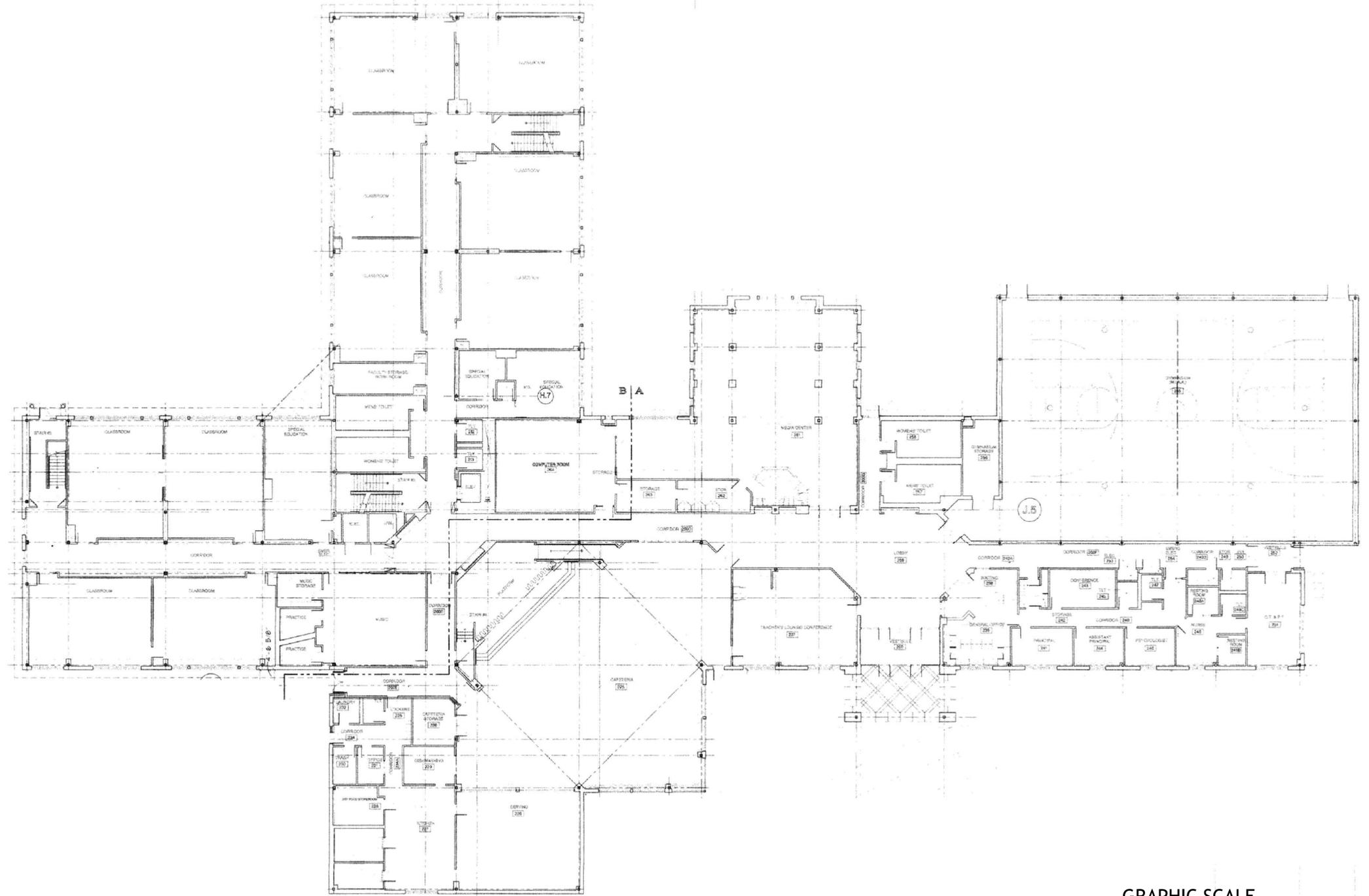
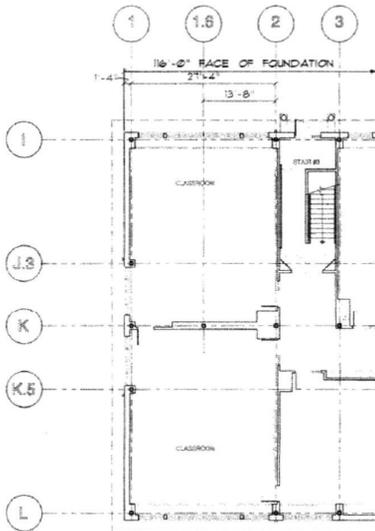
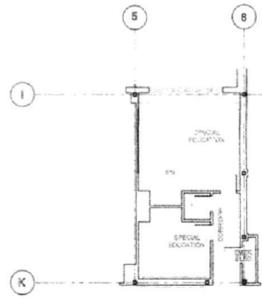


(IN FEET)
1 INCH = 16 FEET





Project North





Project North

