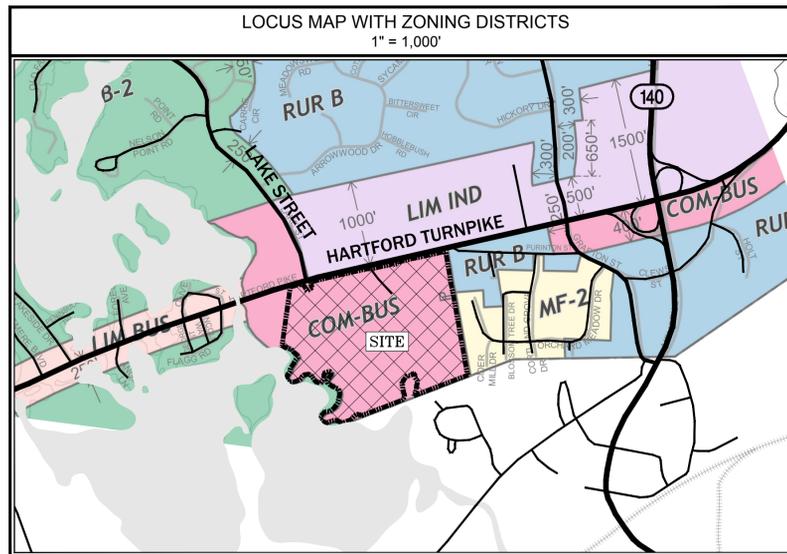


SITE PLAN FOR EDGEMERE CROSSING AT FLINT POND 180-222 HARTFORD TURNPIKE

DRAWING INDEX			
DRAWING DATE	LAST REVISION	DRAWING	DRAWING DESCRIPTION
06/19/2019	11/25/2019	-	COVER SHEET
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03/17/2017	-	PAGE 2 OF 4	EXISTING CONDITIONS (PREPARED BY GUERRIERE & HALNON, INC.)
03/17/2017	-	PAGE 3 OF 4	EXISTING CONDITIONS (PREPARED BY GUERRIERE & HALNON, INC.)
03/17/2017	-	PAGE 4 OF 4	EXISTING CONDITIONS (PREPARED BY GUERRIERE & HALNON, INC.)
06/19/2019	11/25/2019	N-1	GENERAL NOTES, ABBREVIATIONS AND OVERALL LEGEND
06/19/2019	03/11/2020	OS-1	OVERALL SITE PLAN
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06/19/2019	03/11/2020	C-2A - C-2E	GRADING AND DRAINAGE PLAN
06/19/2019	11/25/2019	C-3A - C-3E	UTILITY PLAN
06/19/2019	03/11/2020	C-4A - C-4E	SITE, PARKING AND TRAFFIC CONTROL PLAN
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06/19/2019	11/25/2019	C-6	DRAINAGE DETAILS I
06/19/2019	03/11/2020	C-7	DRAINAGE DETAILS II
06/19/2019	11/25/2019	C-8	UTILITY DETAILS
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06/19/2019	11/25/2019	C-10	SITE PARKING AND TRAFFIC CONTROL DETAILS II
10/01/2019	11/25/2019	C-11	SITE PARKING AND TRAFFIC CONTROL DETAILS III
07/24/2019	03/11/2020	C-12	VEHICLE MANEUVERING PLAN
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11/25/2019	11/25/2019	A-214	RESIDENTIAL GARAGE DESIGN (PREPARED BY CUBE 3 STUDIO) - NO LONGER USED
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06/19/2019	-	A2	BANK BUILDING - PROPOSED DESIGN CONCEPT (PREPARED BY HARRISON FRENCH & ASSOCIATES)
06/19/2019	-	A3	PHARMACY BUILDING - PROPOSED DESIGN CONCEPT (PREPARED BY HARRISON FRENCH & ASSOCIATES)



Zoning Districts	
1 Rural A (RUR A)	8 Limited Business (LIM BUS)
1a Rural AA (RUR AA)	9 Commercial-Business (COM-BUS)
2 Rural B (RUR B)	9a Limited Commercial-Business (LM COM-BUS)
3 Residence A (RES A)	10 Limited-Industrial (LIM IND)
4 Residence B-1 (RES B-1)	11 Neighborhood Business (NB)
5 Residence B-2 (RES B-2)	12 Office-Research (OFF-RES)
6 MF-1 Garden-Type (MF-1)	12a Limited Office-Research (LIM OFF-RES)
6a MF-2 Townhouse-Type (MF-2)	
7 Apartment (APT)	



RJO'CONNELL & ASSOCIATES, INC.

CIVIL ENGINEERS, SURVEYORS & LAND PLANNERS
80 MONTVALE AVENUE, SUITE 201 STONEHAM, MA 02180
PHONE: 781.279.0180 RJOCONNELL.COM

PREPARED FOR:

ROUTE 20 NOMINEE TRUST

55 CAMBRIDGE PARKWAY
SUITE 200
CAMBRIDGE, MA 02142

DEMOULAS SUPER MARKETS, INC.

c/o DSM REALTY, INC.

881 EAST STREET
TEWKSBURY, MA 01876

DESIGN TEAM

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ARCHITECTURE:
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PHONE: 978-989-9900

SURVEY:
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ARCHITECTURE:
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31 HAYWARD STREET
FRANKLIN, MA 02038
ATTN: AKSEL SOLBERG, AIA
PHONE: (972) 701-9636

1. ORDER OF CONDITIONS DEP FILE # 285-1836 DATED 1/21/2020
2. SITE PLAN APPROVAL PERMIT NO. SPA-02A-2020
3. SPECIAL PERMITS NO SPA-02B-2020

GOVERNMENT/UTILITY CONTACTS

TOWN MANAGER:
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100 MAPLE AVENUE
SHREWSBURY, MA 01545
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PLANNING AND ECONOMIC DEVELOPMENT:
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GAS:
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ABBY GRAHAM, REGIONAL PUBLIC HEALTH SPECIALIST
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PHONE: (508) 841-8577

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SHREWSBURY, MA 01545
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PHONE: (508) 841-8502

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SHREWSBURY, MA 01545
ATTN: PATRICIA SHEEHAN, INSPECTOR OF BUILDINGS
PHONE: (508) 841-8512

TOWN ENGINEER:
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ATTN: ANDREW TRUMAN, PE SENIOR CIVIL ENGINEER
PHONE: (508) 841-8502

MASSDOT:
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WORCESTER, MA 01604
ATTN: JONATHAN GULLIVER, DISTRICT HIGHWAY DIRECTOR
PHONE: (508) 929-3800

ELECTRIC, CABLE, INTERNET & TELEPHONE:
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SHREWSBURY, MA 01545
ATTN: MARK MACIEJEWSKI
PHONE: (508) 841-8618

DRAWING NUMBER:

C-0

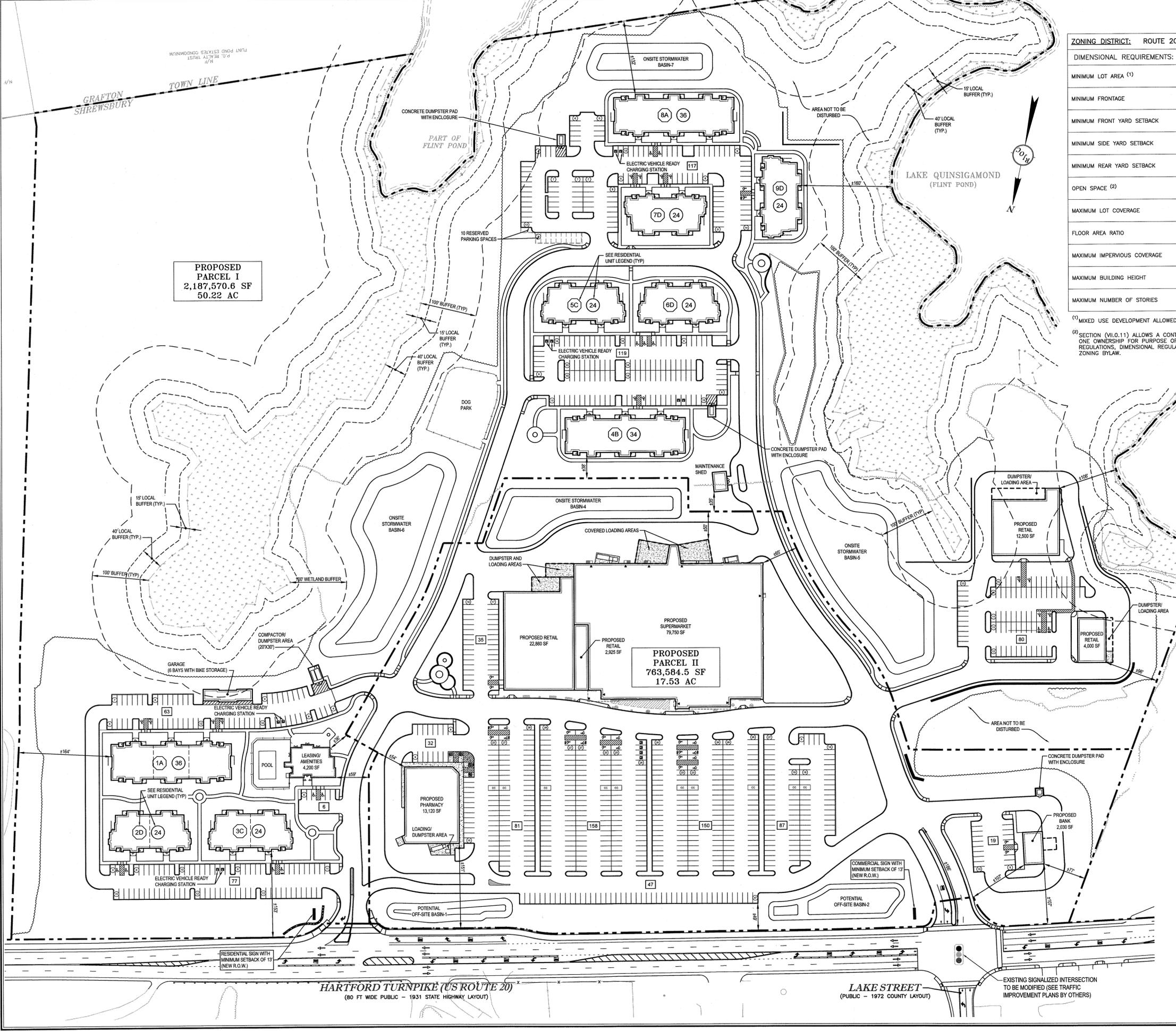
PROJECT NUMBER:

19015

ZONING TABLE

ZONING DISTRICT: ROUTE 20 OVERLAY DISTRICT (2)			
DIMENSIONAL REQUIREMENTS:	REQUIRED	PROPOSED (4)	COMPLIANT
MINIMUM LOT AREA (1)	25 ACRES	PARCEL I = 50.22 ACRES PARCEL II = 17.53 ACRES TOTAL = 67.75 ACRES	YES
MINIMUM FRONTAGE	150 FEET	PARCEL I = 642.2 FEET PARCEL II = 1,305.8 FEET TOTAL = 1,948.0 FEET	YES
MINIMUM FRONT YARD SETBACK	25 FEET	PARCEL I = 153 FEET PARCEL II = ±107 FEET OVERALL = ±107 FEET	YES
MINIMUM SIDE YARD SETBACK	25 FEET	PARCEL I = ±36 FEET PARCEL II = ±54 FEET OVERALL = ±36 FEET	YES
MINIMUM REAR YARD SETBACK	25 FEET	PARCEL I = ±132 FEET PARCEL II = ±50 FEET OVERALL = ±50 FEET	YES
OPEN SPACE (2)	25%	PARCEL I = ±78.73% PARCEL II = ±32.37% OVERALL = ±66.7%	YES
MAXIMUM LOT COVERAGE	35%	PARCEL I = ±5.8% PARCEL II = ±15.8% OVERALL = ±8.8%	YES
FLOOR AREA RATIO	1.5	PARCEL I = ±0.14 PARCEL II = ±0.15 OVERALL = ±0.15	YES
MAXIMUM IMPERVIOUS COVERAGE	65%	PARCEL I = ±21.27% PARCEL II = ±67.63% OVERALL = ±33.3%	YES
MAXIMUM BUILDING HEIGHT	40 FEET	PARCEL I = ≤40 FEET PARCEL II = ≤40 FEET OVERALL = ≤40 FEET	YES
MAXIMUM NUMBER OF STORIES	3 STORIES	PARCEL I = 3 STORIES PARCEL II = 1 STORIES OVERALL = 3 STORIES	YES

(1) MIXED USE DEVELOPMENT ALLOWED UPON LAND NOT LESS THAN 25 ACRES - SECTION (VI.L.10.A)
 (2) SECTION (VI.L.11) ALLOWS A CONTIGUOUS AREA OF LAND TO BE CONSIDERED AS ONE LOT UNDER ONE OWNERSHIP FOR PURPOSE OF COMPLIANCE WITH DIMENSIONAL, SETBACK AND INTENSITY REGULATIONS, DIMENSIONAL REGULATIONS, OFF-STREET PARKING AND OTHER REQUIREMENTS OF THE ZONING BYLAW.



PROPOSED PARCEL I
 2,187,570.6 SF
 50.22 AC

PROPOSED PARCEL II
 763,584.5 SF
 17.53 AC

RESIDENTIAL UNIT LEGEND:

- (1A) BUILDING NUMBER AND TYPE
- (24) NUMBER OF UNITS

PROPOSED RESIDENTIAL APARTMENT PROJECT SUMMARY:

BUILDING TYPE	NUMBER OF BUILDINGS	UNITS
BUILDING TYPE A (GFA=41,006 SF)	2	72
BUILDING TYPE B (GFA=41,006 SF)	1	34
BUILDING TYPE C (GFA=26,695 SF)	2	48
BUILDING TYPE D (GFA=25,972 SF)	4	96
TOTAL (GFA=280,296 SF)	9	250

RESIDENTIAL PARKING

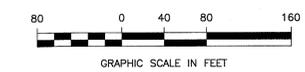
RESIDENTIAL PARKING REQUIRED	375 SPACES (1.5 SPACES/UNIT)
RESIDENTIAL PARKING PROVIDED (W/O RESERVED SPACES)	388 SURFACE SPACES
	388 TOTAL SPACES PROVIDED (1.55 SPACES/UNIT) (W/O RESERVED SPACES)

COMMERCIAL PARKING TABLE

PARCEL I		PARCEL II	
COMMERCIAL	REQUIRED BY ZONING	COMMERCIAL	REQUIRED BY ZONING
RETAIL 16,500 SF	66 SPACES (4.0/1,000 SF)	RETAIL 25,785 SF	103 SPACES (4.0/1,000 SF)
		SUPERMARKET 79,750 SF	319 SPACES (4.0/1,000 SF)
		PHARMACY 13,120 SF	53 SPACES (4.0/1,000 SF)
		BANK 2,030 SF	8 SPACES (4.0/1,000 SF)
16,500 SF	66 SPACES REQUIRED	120,685 SF	483 SPACES REQUIRED

TOTAL COMMERCIAL PARKING REQUIRED (PARCELS I & II) = 549 SPACES (66+483)

TOTAL COMMERCIAL PARKING PROVIDED (PARCELS I & II) = 689 SPACES (80+609)



NO.	REVISION	DATE
6	ISSUED FOR SPECIAL PERMIT AND SITE PLAN REVIEW	3/11/2020
5	REISSUED FOR NOI	1/10/2020
4	REISSUED FOR SPECIAL PERMIT AND SITE PLAN REVIEW	11/26/2019
3	ISSUED FOR RESPONSE TO TRAFFIC COMMENTS	9/20/2019
2	ISSUED FOR NOTICE OF INTENT	8/27/2019
1	ISSUED FOR SPECIAL PERMIT AND SITE PLAN REVIEW	8/19/2019

PREPARED BY:
RJO'CONNELL & ASSOCIATES, INC.
 CIVIL ENGINEERS, SURVEYORS & LAND PLANNERS
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 PHONE: 781.279.0180 RJOCONNELL.COM

PREPARED FOR:
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 55 CAMBRIDGE PARKWAY, SUITE 200
 CAMBRIDGE, MA 02142
DEMOULAS SUPER MARKETS, INC.
 C/O DSM REALTY, INC.
 681 EAST STREET
 TEWKSBURY, MA 01876

EDGEMERE CROSSING AT FLINT POND
 SHREWSBURY, MA

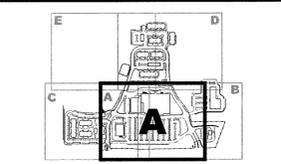
SEAL:

 JOHN J. STOY
 CIVIL ENGINEER
 No. 42797
 REGISTERED PROFESSIONAL ENGINEER
 STATE OF MASSACHUSETTS
 3-11-20

DESIGNED BY: RWS
 DRAWN BY: KPM
 REVIEWED BY: RWS
 SCALE: 1" = 80'
 DATE: 09/19/2019
 DRAWING NAME:

OVERALL SITE PLAN

DRAWING NUMBER: **OS-1**
 PROJECT NUMBER: **19015**



KEY SHEET

NO.	REVISION	DATE
1	ISSUED FOR NOTICE OF INTENT	6/27/2019
2	ISSUED FOR SPECIAL PERMIT AND SITE PLAN REVIEW	6/19/2019
3	REISSUED FOR SPECIAL PERMIT AND SITE PLAN REVIEW	11/25/2019
4	REISSUED FOR NOI	01/10/2020
5	REISSUED FOR SITE PLAN APPROVAL	03/11/2020

- NOTES:**
- SEE DRAWINGS C-5 THROUGH C-11 FOR DETAILS.
 - SEE DRAWING N-1 FOR GENERAL NOTES, ABBREVIATIONS AND OVERALL LEGEND.
 - SEE DRAWING C-7 FOR OUTLET STRUCTURE DETAILS.
 - SEE DRAWING C-2E FOR GRADING AND DRAINAGE LEGEND.
 - ALL SLOPES SHALL BE 3:1 OR FLATTER UNLESS OTHERWISE NOTED.

PREPARED BY:
RJO'CONNELL & ASSOCIATES, INC.
 CIVIL ENGINEERS, SURVEYORS & LAND PLANNERS
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 PHONE: 781.279.0180 RJCONNELL.COM

PREPARED FOR:
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 55 CAMBRIDGE PARKWAY, SUITE 200
 CAMBRIDGE, MA 02142
DEMOULAS SUPER MARKETS, INC.
 C/O DSM REALTY, INC.
 881 EAST STREET
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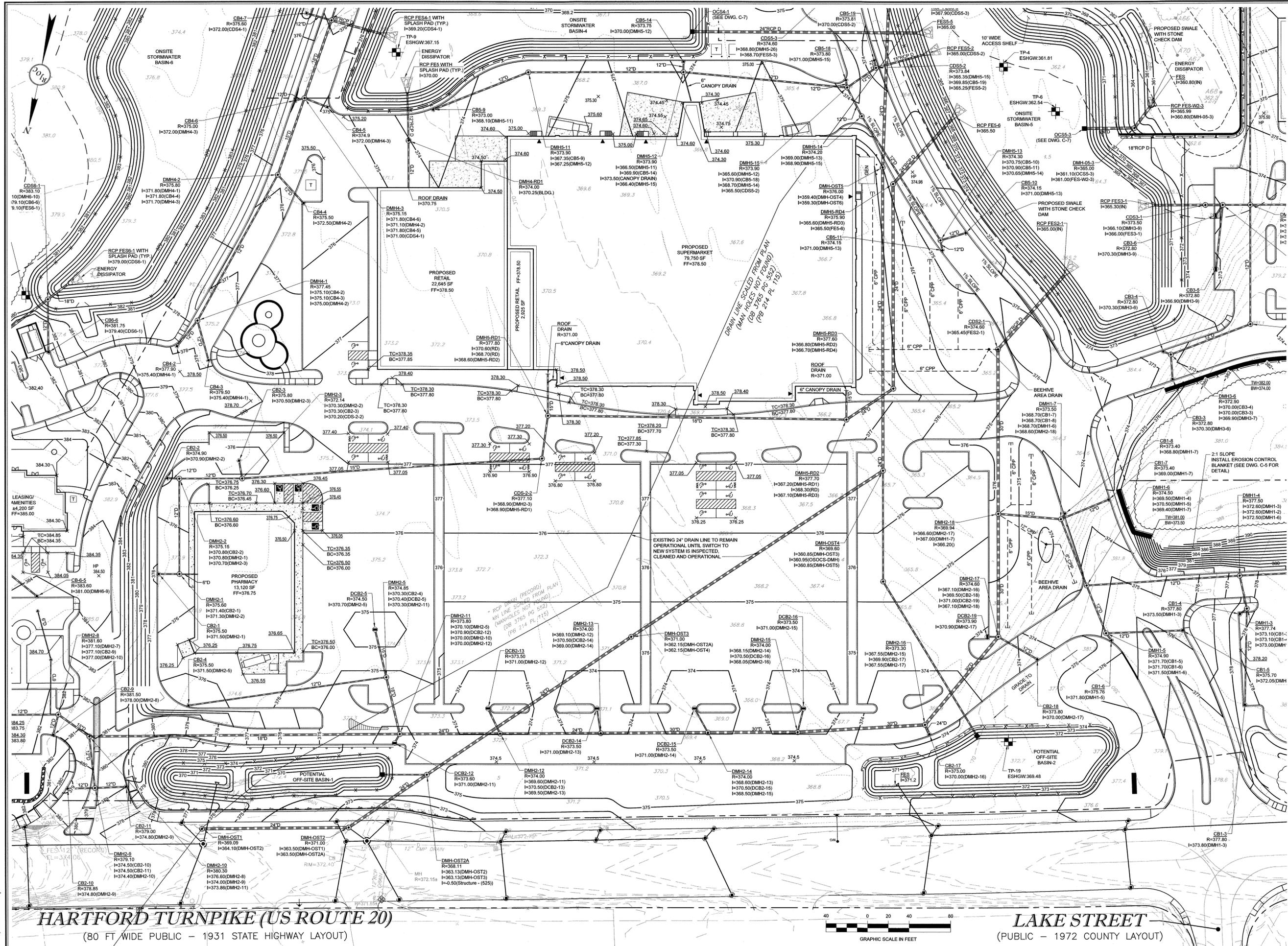
PROJECT NAME:
EDGEMERE CROSSING AT FLINT POND
 SHREWSBURY, MA



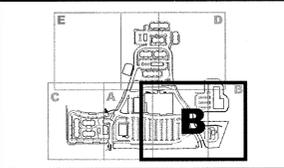
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 DRAWN BY: JRS/RWS
 REVIEWED BY: RWS
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 DRAWING NAME:

GRADING AND DRAINAGE PLAN

DRAWING NUMBER:
C-2A
 PROJECT NUMBER: 19015



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KEY SHEET

NO.	DATE	REVISION
1	03/11/2020	ISSUED FOR SPECIAL PERMIT AND SITE PLAN REVIEW
2	06/27/2019	ISSUED FOR NOTICE OF INTENT
3	11/28/2019	ISSUED FOR SPECIAL PERMIT AND SITE PLAN REVIEW
4	07/10/2020	RESUBMITTED FOR NOI
5	03/11/2020	REISSUED FOR SITE PLAN APPROVAL

- NOTES:**
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 - SEE DRAWING M-1 FOR GENERAL NOTES, ABBREVIATIONS AND OVERALL LEGEND.
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PREPARED BY:
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PREPARED FOR:
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 CAMBRIDGE, MA 02142
DEMOULAS SUPER MARKETS, INC.
 C/O DSM REALTY, INC.
 881 EAST STREET
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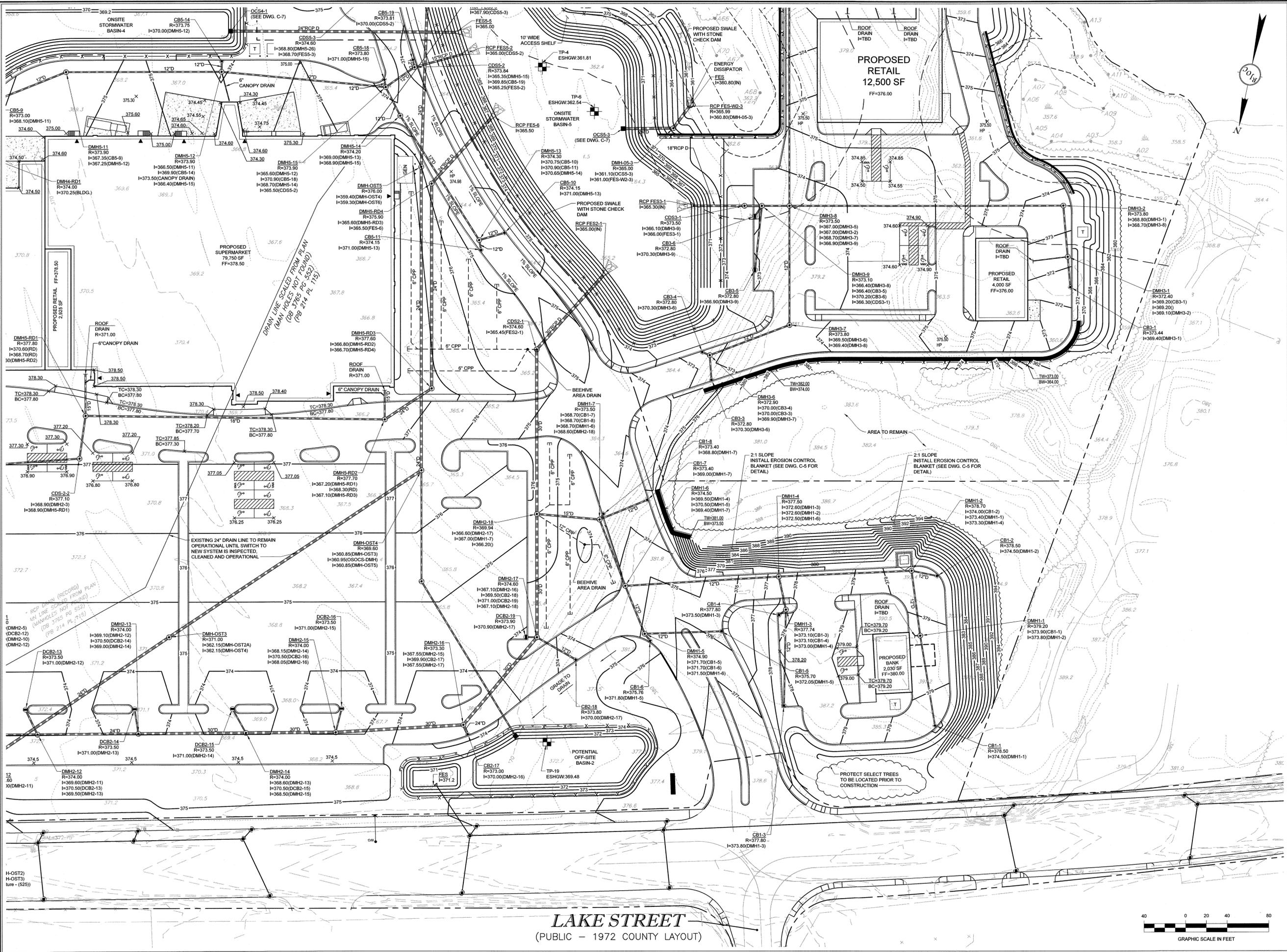
PROJECT NAME:
EDGEMERE CROSSING AT FLINT POND
 SHREWSBURY, MA

DESIGNED BY: RWS
 DRAWN BY: JIR/TRG
 REVIEWED BY: RWS
 SCALE: 1" = 40'
 DATE: 06/19/2019
 DRAWING NAME:

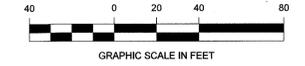


GRADING AND DRAINAGE PLAN

DRAWING NUMBER:
C-2B
 PROJECT NUMBER:
19015

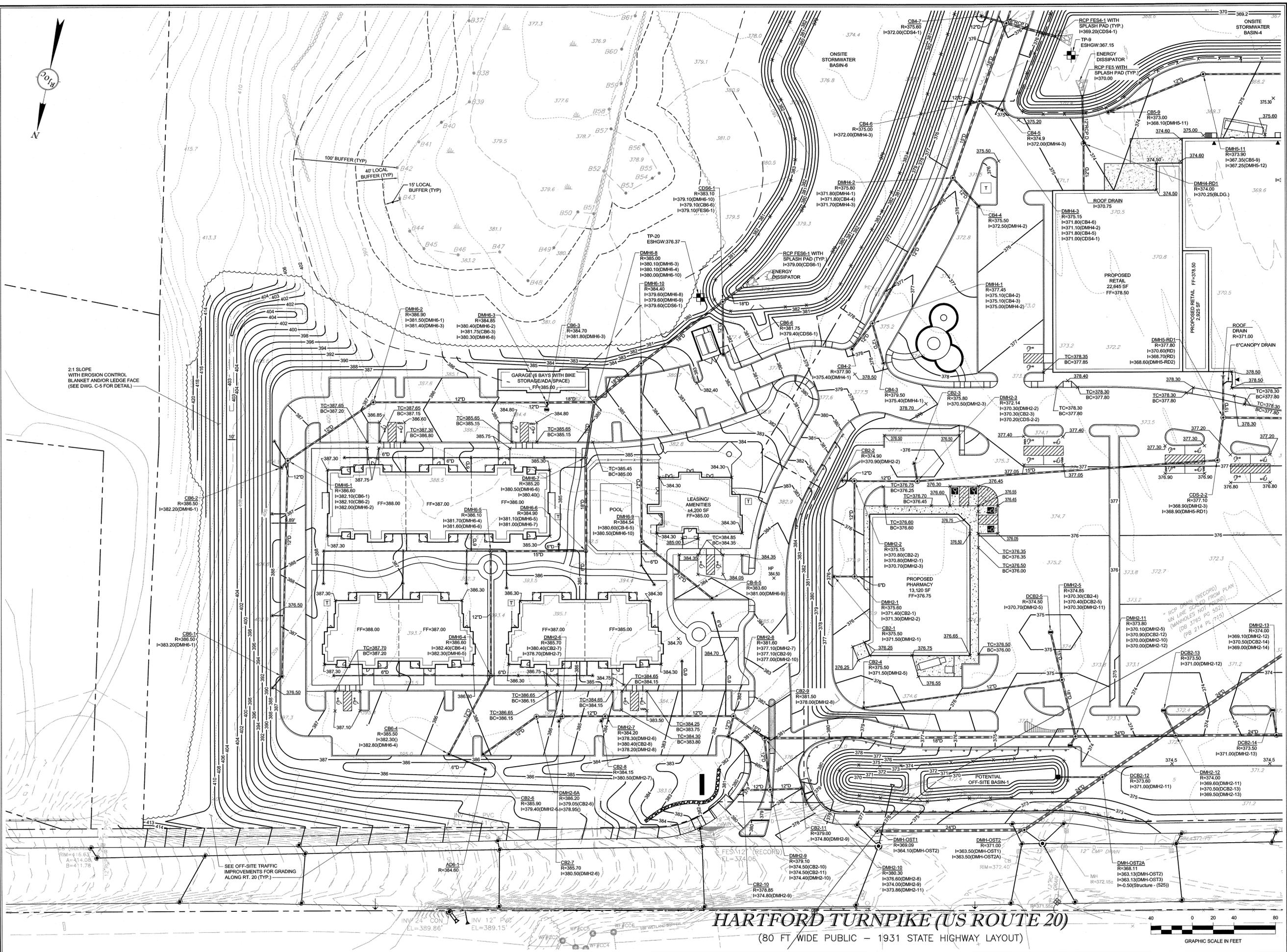


LAKE STREET (PUBLIC - 1972 COUNTY LAYOUT)



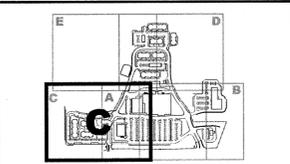
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Mar 11, 2020 - 12:30pm



HARTFORD TURNPIKE (US ROUTE 20)

(80 FT WIDE PUBLIC - 1931 STATE HIGHWAY LAYOUT)



KEY SHEET

NO.	REVISION	DATE
1	ISSUED FOR SPECIAL PERMIT AND SITE PLAN REVIEW	06/19/2019
2	ISSUED FOR NOTICE OF INTENT	02/27/2019
3	REISSUED FOR SPECIAL PERMIT AND SITE PLAN REVIEW	11/25/2019
4	REISSUED FOR NOI	01/10/2020
5	REISSUED FOR SITE PLAN APPROVAL	03/11/2020

- NOTES:**
- SEE DRAWINGS C-3 THROUGH C-11 FOR DETAILS.
 - SEE DRAWING N-1 FOR GENERAL NOTES, ABBREVIATIONS AND OVERALL LEGEND.
 - SEE DRAWING C-7 FOR OUTLET STRUCTURE DETAILS.
 - SEE DRAWING C-2E FOR GRADING AND DRAINAGE LEGEND.
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PREPARED BY:
RJO'CONNELL & ASSOCIATES, INC.
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 PHONE: 781.279.9180 RJOCONNELL.COM

PREPARED FOR:

RT 20 NOMINEE TRUST
 55 CAMBRIDGE PARKWAY, SUITE 200
 CAMBRIDGE, MA 02142

DEMOULAS SUPER MARKETS, INC.
C/O DSM REALTY, INC.
 881 EAST STREET
 TEWKSBURY, MA 01876

PROJECT NAME:
EDGE MERE CROSSING AT FLINT POND
 SHREWSBURY, MA

SEAL:

JOHN J. STOY
 CIVIL
 No. 42197
 REGISTERED PROFESSIONAL ENGINEER

3-11-20

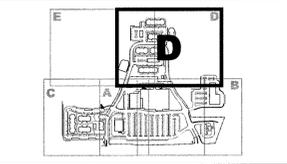
DESIGNED BY: RWS
 DRAWN BY: JIR/TRG
 REVIEWED BY: RWS
 SCALE: 1" = 40'
 DATE: 06/19/2019
 DRAWING NAME:

GRADING AND DRAINAGE PLAN

DRAWING NUMBER:
C-2C

PROJECT NUMBER:
19015

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KEY SHEET

NO.	REVISION	DATE
1	ISSUED FOR SPECIAL PERMIT AND SITE PLAN REVIEW	6/27/2019
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PREPARED BY:
RJO'CONNELL & ASSOCIATES, INC.
 CIVIL ENGINEERS, SURVEYORS & LAND PLANNERS
 85 MONTVALE AVENUE, SUITE 201 STONEHAM, MA 02180
 PHONE: 781.279.0180 RJOCONNELL.COM

PREPARED FOR:
RT 20 NOMINEE TRUST
 55 CAMBRIDGE PARKWAY, SUITE 200
 CAMBRIDGE, MA 02142
DEMOULAS SUPER MARKETS, INC.
 C/O DSM REALTY, INC.
 881 EAST STREET
 TEWKSBURY, MA 01876

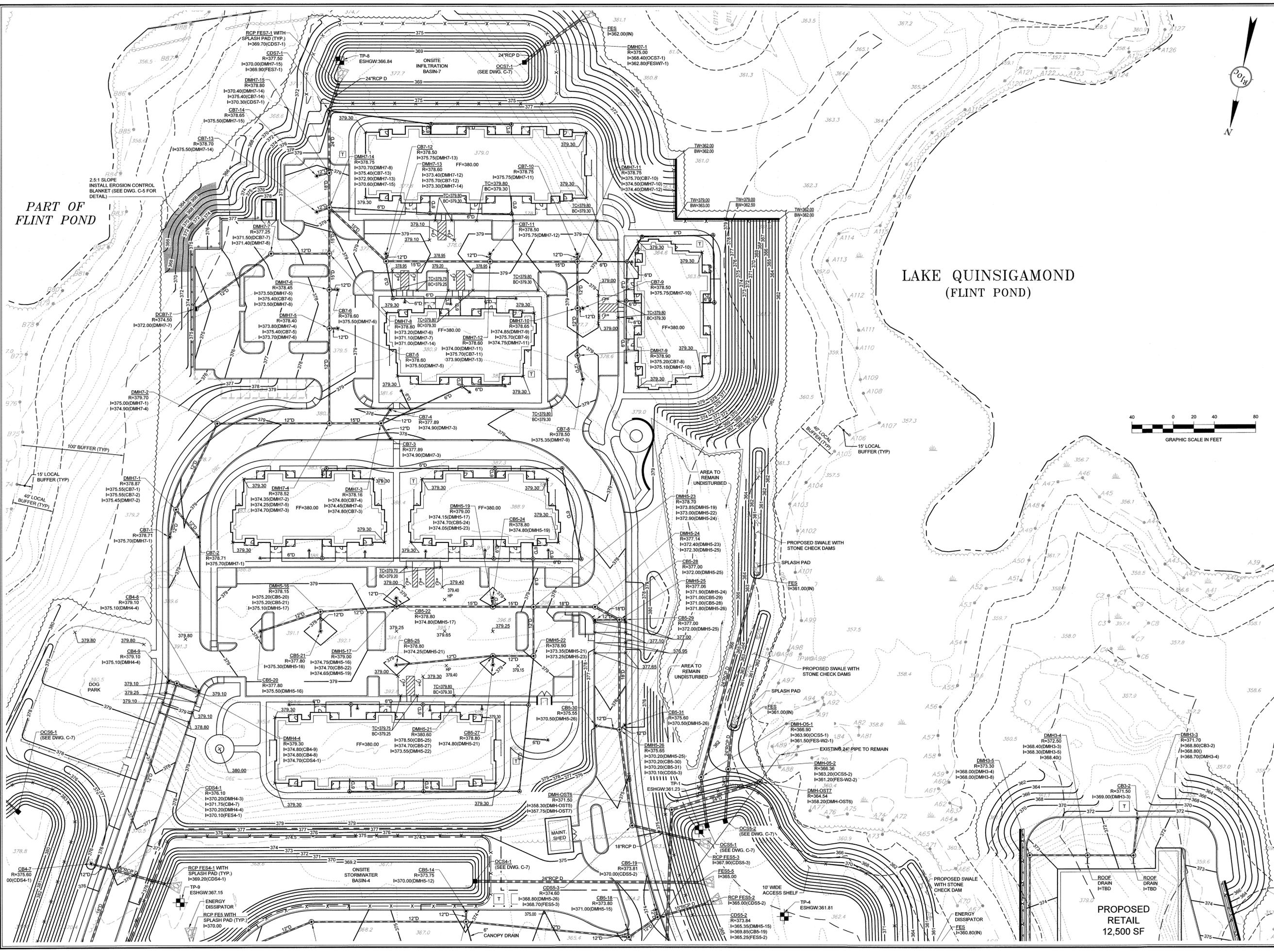
PROJECT NAME:
EDGEMERE CROSSING AT FLINT POND
 SHREWSBURY, MA

DESIGNED BY: RWS
 DRAWN BY: JIR/TRG
 REVIEWED BY: RWS
 SCALE: 1" = 40'
 DATE: 06/19/2019
 DRAWING NUMBER: **C-2D**
 PROJECT NUMBER: 19015

GRADING AND DRAINAGE PLAN

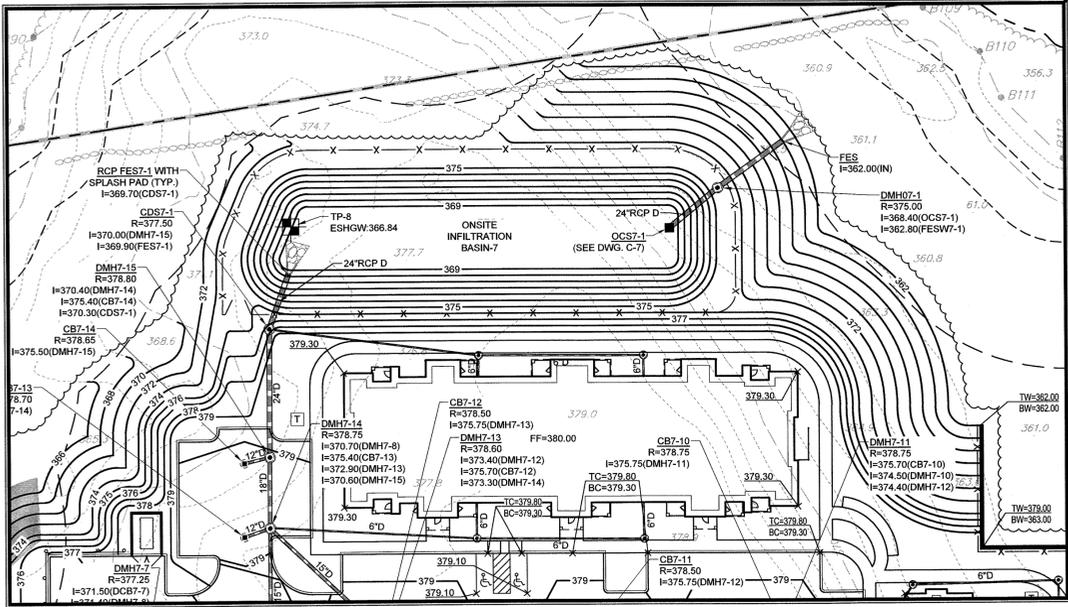
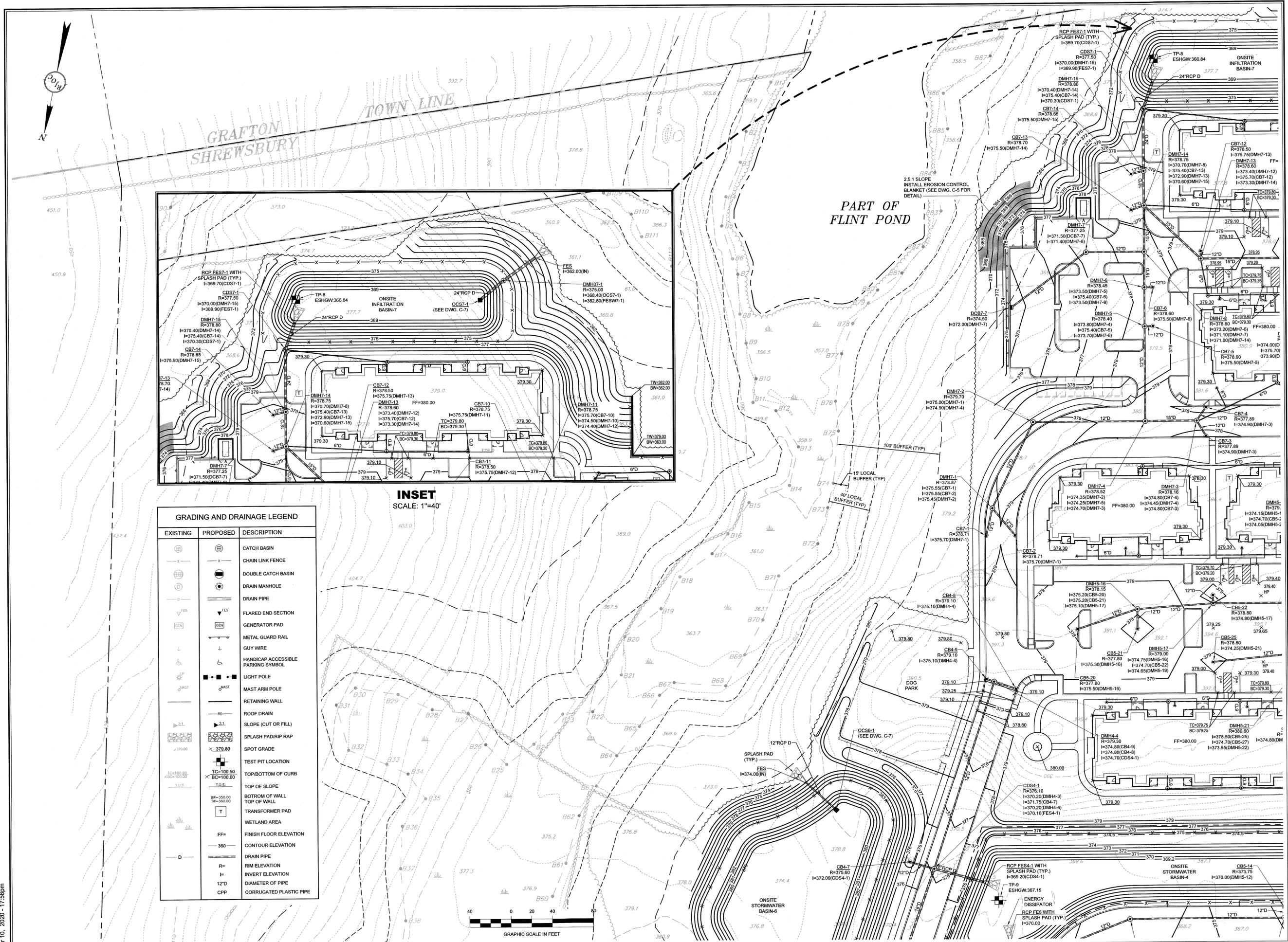
C-2D

PROJECT NUMBER: 19015



Drawing name: G:\MA\Shrewsbury\The Residences at Flint Pond\CDP Management\Main\15048_GRD.dwg
 Mar 10, 2020 - 17:56pm

Drawing name: C:\MA\Shrewsbury\The Residences at Flint Pond\OVP Management\Main\15048_GRD.dwg
 Mar 10, 2020 - 17:56pm

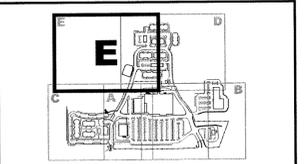


INSET
SCALE: 1"=40'

GRADING AND DRAINAGE LEGEND		
EXISTING	PROPOSED	DESCRIPTION
		CATCH BASIN
		CHAIN LINK FENCE
		DOUBLE CATCH BASIN
		DRAIN MANHOLE
		DRAIN PIPE
		FLARED END SECTION
		GENERATOR PAD
		METAL GUARD RAIL
		GUY WIRE
		HANDICAP ACCESSIBLE PARKING SYMBOL
		LIGHT POLE
		MAST ARM POLE
		RETAINING WALL
		ROOF DRAIN
		SLOPE (CUT OR FILL)
		SPLASH PAD/RAP
		SPOT GRADE
		TEST PIT LOCATION
		TOP/BOTTOM OF CURB
		TOP OF SLOPE
		BOTTOM OF WALL
		TOP OF WALL
		TRANSFORMER PAD
		WETLAND AREA
		FINISH FLOOR ELEVATION
		CONTOUR ELEVATION
		DRAIN PIPE
		RIM ELEVATION
		INVERT ELEVATION
		DIAMETER OF PIPE
		CORRUGATED PLASTIC PIPE



RJOC



KEY SHEET

NO.	REVISION	DATE
1	ISSUED FOR SPECIAL PERMIT AND SITE PLAN REVIEW	6/19/2019
2	ISSUED FOR NOTICE OF INTENT	8/27/2019
3	REISSUED FOR SPECIAL PERMIT AND SITE PLAN REVIEW	11/20/2019
4	REISSUED FOR NOI	01/10/2020
5	REISSUED FOR SITE PLAN APPROVAL	03/11/2020

- NOTES:**
- SEE DRAWINGS C-5 THROUGH C-11 FOR DETAILS.
 - SEE DRAWING N-1 FOR GENERAL NOTES, ABBREVIATIONS AND OVERALL LEGEND.
 - SEE DRAWING C-7 FOR OUTLET STRUCTURE DETAILS.
 - SEE DRAWING C-2E FOR GRADING AND DRAINAGE LEGEND.
 - ALL SLOPES SHALL BE 3:1 OR FLATTER UNLESS OTHERWISE NOTED.

PREPARED BY:
RJO'CONNELL & ASSOCIATES, INC.
 CIVIL ENGINEERS, SURVEYORS & LAND PLANNERS
 80 MONTVALE AVENUE, SUITE 201 STONEHAM, MA 02180
 PHONE: 781.279.0189 RJOCONNELL.COM

PREPARED FOR:
RT 20 NOMINEE TRUST
 55 CAMBRIDGE PARKWAY, SUITE 200
 CAMBRIDGE, MA 02142
DEMOULAS SUPER MARKETS, INC.
 C/O DSM REALTY, INC.
 881 EAST STREET
 TEWKSBURY, MA 01876

PROJECT NAME:
EDGEMERE CROSSING AT FLINT POND
 SHREWSBURY, MA

SEAL:

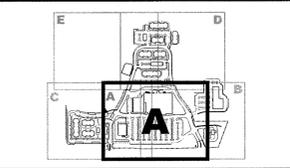
 JOHN J. STOY
 CIVIL ENGINEER
 No. 42197
 State of Massachusetts
 3-11-20

DESIGNED BY: RWS
 DRAWN BY: JIR/RWS
 REVIEWED BY: RWS
 SCALE: 1" = 40'
 DATE: 06/19/2019

DRAWING NAME:
GRADING AND DRAINAGE PLAN

DRAWING NUMBER:
C-2E

PROJECT NUMBER:
19015
 Copyright © 2019 by R.J. O'Connell & Associates, Inc.



KEY SHEET

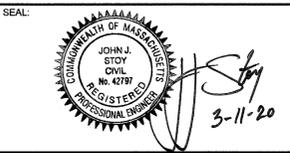
NO.	DATE	REVISION
1	03/11/2020	ISSUED FOR SITE PLAN APPROVAL
2	01/10/2020	RESUBMITTED FOR NOI
3	11/25/2019	RESUBMITTED FOR SPECIAL PERMIT AND SITE PLAN REVIEW
4	06/27/2019	ISSUED FOR NOTICE OF INTENT
5	01/19/2019	ISSUED FOR SPECIAL PERMIT AND SITE PLAN REVIEW

- NOTES:**
- SEE DRAWINGS C-5 THROUGH C-11 FOR DETAILS.
 - SEE DRAWING N-1 FOR GENERAL NOTES, ABBREVIATIONS AND OVERALL LEGEND.
 - SEE DRAWING C-4E FOR TRAFFIC CONTROL SCHEDULE AND LEGEND.
 - ALL CURBING TO BE VERTICAL GRANITE (VGC) IN COMMERCIAL PARKING AND ROADWAY AREAS AND CONCRETE CURB (CC) IN RESIDENTIAL PARKING AND ROADWAY AREAS UNLESS OTHERWISE NOTED.
 - SEE DRAWING C-9 FOR PAVEMENT SECTIONS.

PREPARED FOR:
RJO'CONNELL & ASSOCIATES, INC.
 CIVIL ENGINEERS, SURVEYORS & LAND PLANNERS
 80 MONTVALE AVENUE, SUITE 201 STONEHAM, MA 02180
 PHONE: 781.279.0180 RJOC@CONNELL.COM

PREPARED FOR:
RT 20 NOMINEE TRUST
 55 CAMBRIDGE PARKWAY, SUITE 200
 CAMBRIDGE, MA 02142
DEMOLAS SUPER MARKETS, INC.
 C/O DSM REALTY, INC.
 881 EAST STREET
 TEWKSBURY, MA 01876

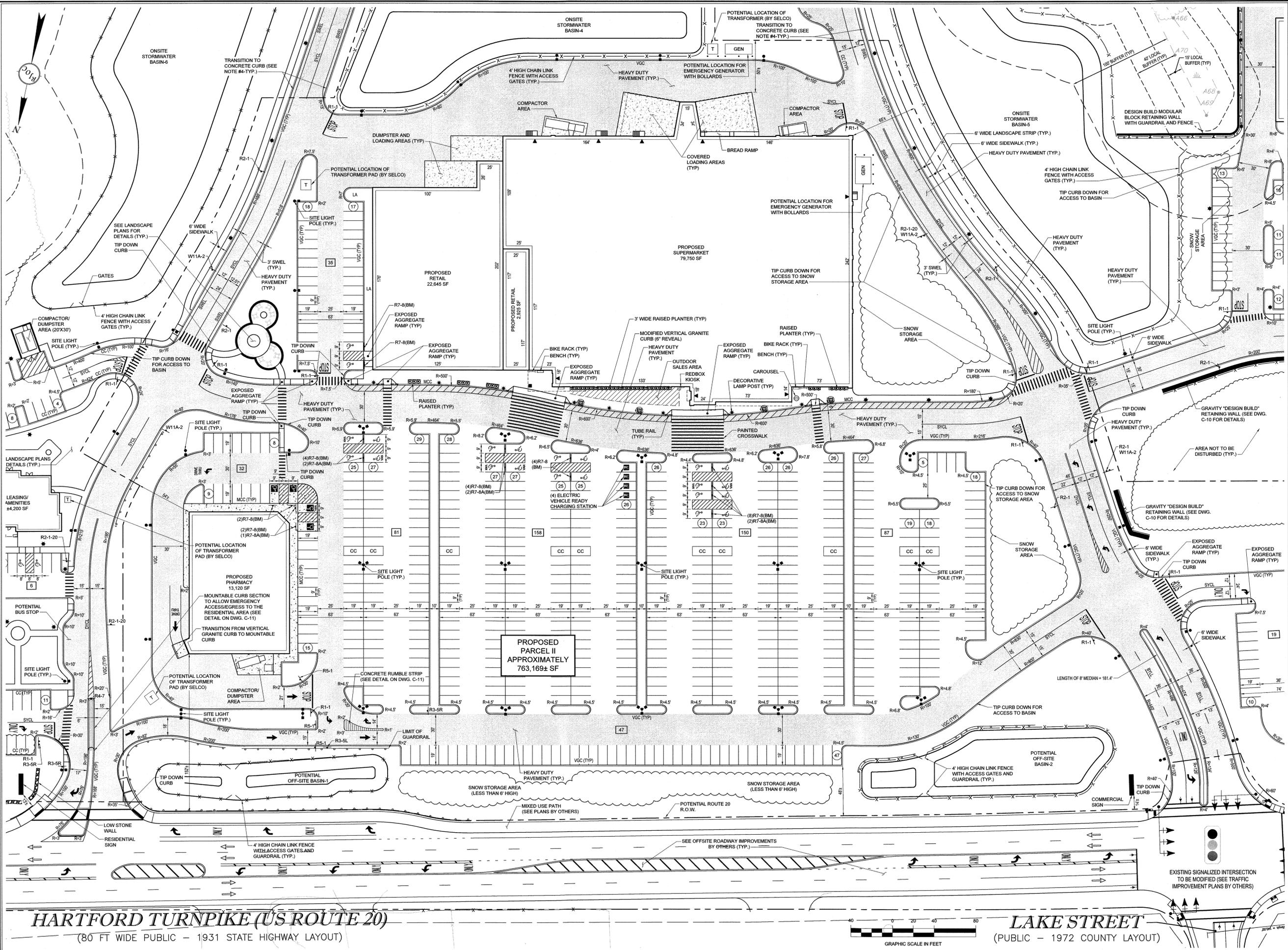
PROJECT NAME:
EDGEMERE CROSSING AT FLINT POND
 SHREWSBURY, MA



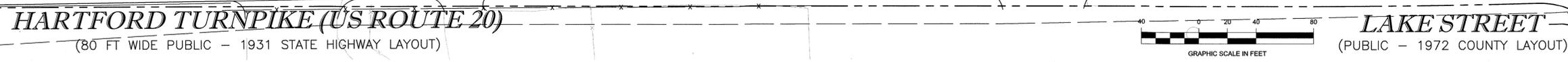
DESIGNED BY: RWS
 DRAWN BY: JIR
 REVIEWED BY: RWS
 SCALE: 1" = 40'
 DATE: 06/19/2019

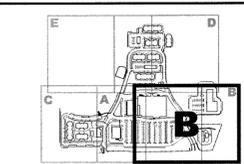
DRAWING NAME:
SITE, PARKING AND TRAFFIC CONTROL PLAN

DRAWING NUMBER:
C-4A
 PROJECT NUMBER:
19015



Drawing name: G:\MA\Shrewsbury\The Residences at Flint Pond\OV Management\Main\19015_PTC.dwg
 Mar 10, 2020 - 17:52pm





KEY SHEET

NO.	REVISION	DATE
5	ISSUED FOR SPECIAL PERMIT AND SITE PLAN REVIEW	6/19/2019
4	ISSUED FOR SPECIAL PERMIT AND SITE PLAN REVIEW	6/27/2019
3	ISSUED FOR SPECIAL PERMIT AND SITE PLAN REVIEW	11/29/2019
2	ISSUED FOR NOTICE OF INTENT	6/27/2019
1	ISSUED FOR SPECIAL PERMIT AND SITE PLAN REVIEW	6/19/2019
NC		

- NOTES:**
- SEE DRAWINGS C-5 THROUGH C-11 FOR DETAILS.
 - SEE DRAWING N-1 FOR GENERAL NOTES, ABBREVIATIONS AND OVERALL LEGEND.
 - SEE DRAWING C-4E FOR TRAFFIC CONTROL SCHEDULE AND LEGEND.
 - ALL CURBS TO BE VERTICAL GRANITE (VGC) IN COMMERCIAL PARKING AND ROADWAY AREAS AND CONCRETE CURB (CC) IN RESIDENTIAL PARKING AND ROADWAY AREAS UNLESS OTHERWISE NOTED.
 - SEE DRAWING C-9 FOR PAVEMENT SECTIONS.

PREPARED BY:
RJO'CONNELL & ASSOCIATES, INC.
 CIVIL ENGINEERS, SURVEYORS & LAND PLANNERS
 80 MONTVALE AVENUE, SUITE 201 STONEHAM, MA 02180
 PHONE: 781.279.0180 RJCONNELL.COM

PREPARED FOR:
RT 20 NOMINEE TRUST
 55 CAMBRIDGE PARKWAY, SUITE 200
 CAMBRIDGE, MA 02142
DEMOULAS SUPER MARKETS, INC.
 C/O DSM REALTY, INC.
 881 EAST STREET
 TEWKSBURY, MA 01876

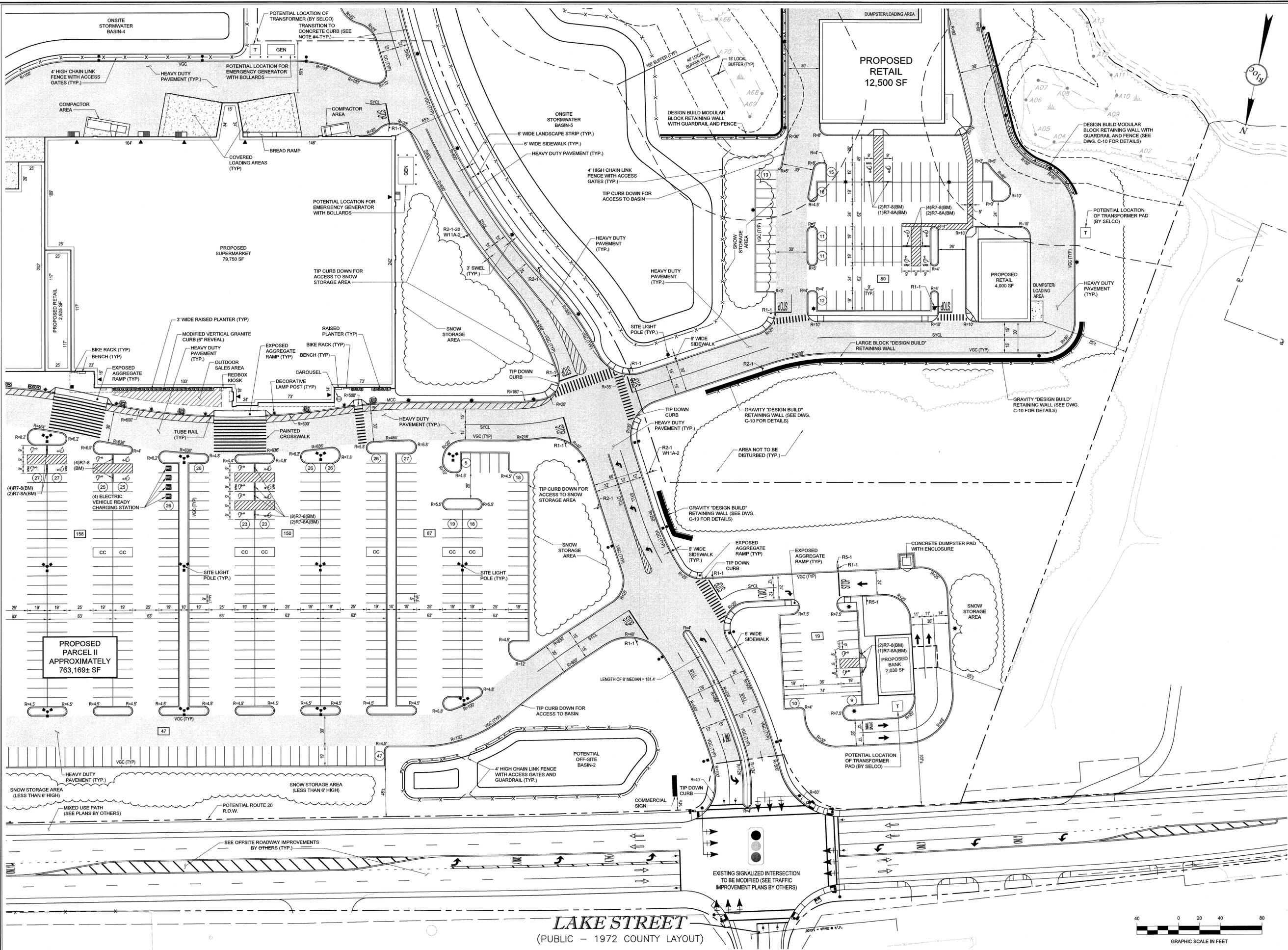
PROJECT NAME:
EDGEMERE CROSSING AT FLINT POND
 SHREWSBURY, MA



DESIGNED BY: RWS
 DRAWN BY: JIR
 REVIEWED BY: RWS
 SCALE: 1" = 40'
 DATE: 06/19/2019

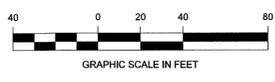
SITE, PARKING AND TRAFFIC CONTROL PLAN

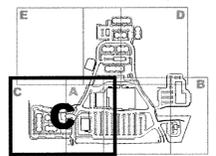
DRAWING NUMBER:
C-4B
 PROJECT NUMBER:
 19015



Drawing name: G:\MA\Shrewsbury\The Residences at Flint Pond\OV\Management\Main\19015_PTC.dwg
 Mar_10_2020 - 17:52pm

LAKE STREET
 (PUBLIC - 1972 COUNTY LAYOUT)





KEY SHEET

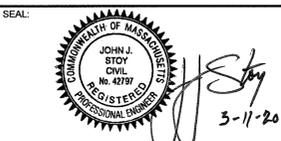
NO.	REVISION	DATE
1	ISSUED FOR SPECIAL PERMIT AND SITE PLAN REVIEW	03/11/2020
2	ISSUED FOR NOTICE OF INTENT	01/10/2020
3	ISSUED FOR SPECIAL PERMIT AND SITE PLAN REVIEW	11/25/2019
4	ISSUED FOR NOTICE OF INTENT	02/27/2019
5	ISSUED FOR SPECIAL PERMIT AND SITE PLAN REVIEW	01/19/2019

- NOTES:**
- SEE DRAWINGS C-5 THROUGH C-11 FOR DETAILS.
 - SEE DRAWING M-1 FOR GENERAL NOTES, ABBREVIATIONS AND OVERALL LEGEND.
 - SEE DRAWING C-4E FOR TRAFFIC CONTROL SCHEDULE AND LEGEND.
 - ALL CURBING TO BE VERTICAL GRANITE (VGC) IN COMMERCIAL PARKING AND ROADWAY AREAS AND CONCRETE CURB (CC) IN RESIDENTIAL PARKING AND ROADWAY AREAS UNLESS OTHERWISE NOTED.
 - SEE DRAWING C-9 FOR PAVEMENT SECTIONS.

PREPARED BY:
RJO'CONNELL & ASSOCIATES, INC.
 CIVIL ENGINEERS, SURVEYORS & LAND PLANNERS
 80 MONTVALE AVENUE, SUITE 201 STONEHAM, MA 02180
 PHONE: 781.279.0180 RJOCONNELL.COM

PREPARED FOR:
RT 20 NOMINEE TRUST
 55 CAMBRIDGE PARKWAY, SUITE 200
 CAMBRIDGE, MA 02142
DEMOULAS SUPER MARKETS, INC.
C/O DSM REALTY, INC.
 881 EAST STREET
 TEWKSBURY, MA 01876

PROJECT NAME:
EDGEMERE CROSSING AT FLINT POND
 SHREWSBURY, MA

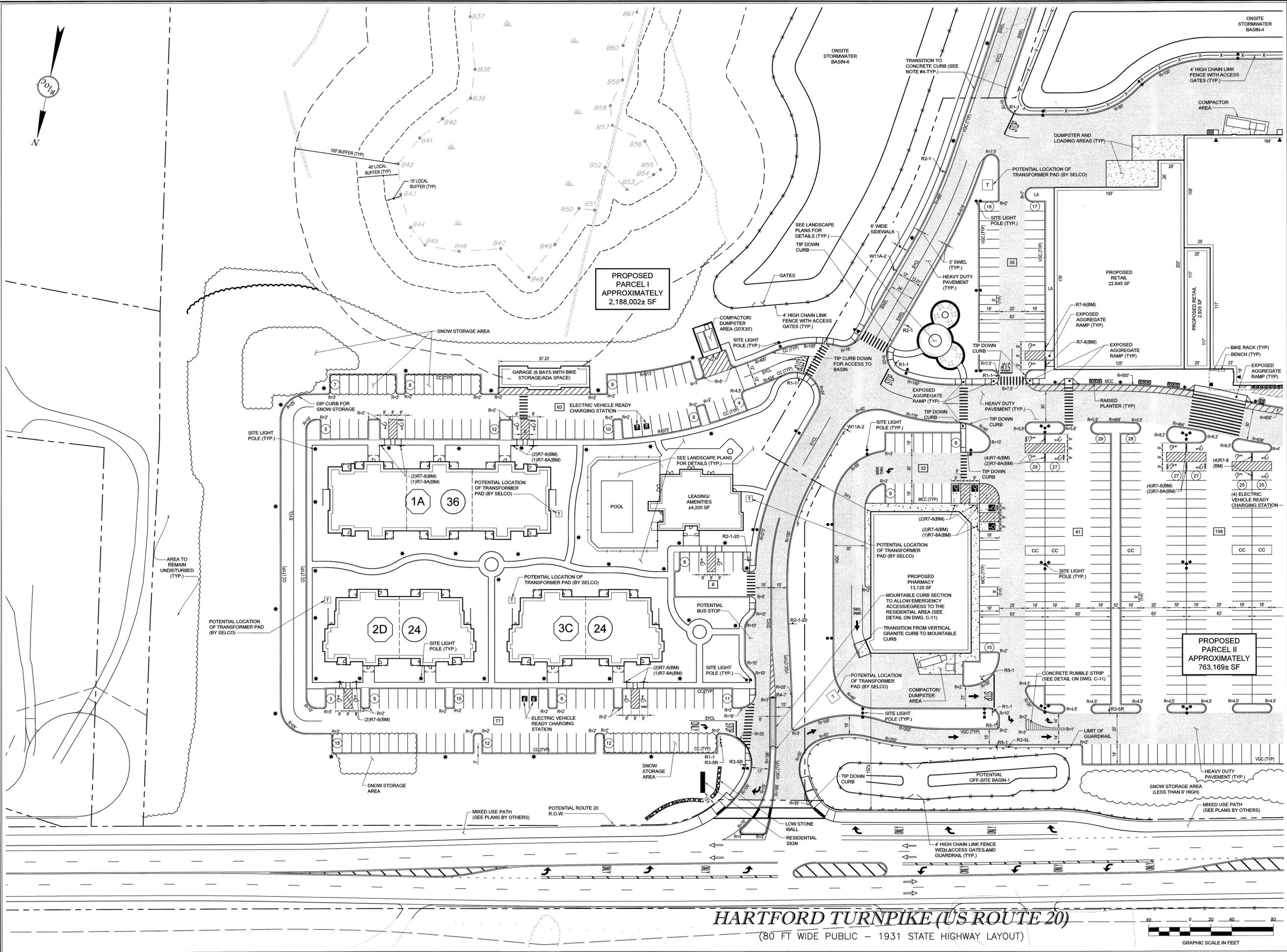


DESIGNED BY: RWS
 DRAWN BY: JIR
 REVIEWED BY: RWS
 SCALE: 1" = 40'
 DATE: 06/19/2019
 DRAWING NAME:

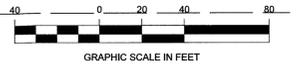
SITE, PARKING AND TRAFFIC CONTROL PLAN

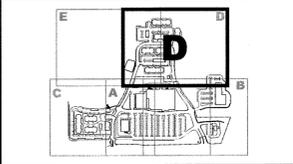
DRAWING NUMBER:
C-4C

PROJECT NUMBER:
19015



HARTFORD TURNPIKE (US ROUTE 20)
 (80 FT WIDE PUBLIC - 1931 STATE HIGHWAY LAYOUT)





KEY SHEET

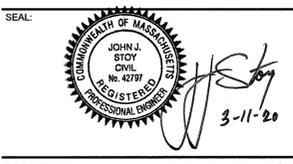
NO.	REVISION	DATE
5	ISSUED FOR SPECIAL PERMIT AND SITE PLAN REVIEW	03/11/2020
4	ISSUED FOR NOTICE OF INTENT	01/10/2020
3	ISSUED FOR SPECIAL PERMIT AND SITE PLAN REVIEW	11/25/2019
2	ISSUED FOR NOTICE OF INTENT	06/27/2019
1	ISSUED FOR SPECIAL PERMIT AND SITE PLAN REVIEW	06/19/2019

- NOTES:**
- SEE DRAWINGS C-5 THROUGH C-11 FOR DETAILS.
 - SEE DRAWINGS M-1 FOR GENERAL NOTES, ABBREVIATIONS AND OVERALL LEGEND.
 - SEE DRAWING C-4E FOR TRAFFIC CONTROL SCHEDULE AND LEGEND.
 - ALL CURBING TO BE VERTICAL GRANITE (VGC) IN COMMERCIAL PARKING AND ROADWAY AREAS AND CONCRETE CURB (CC) IN RESIDENTIAL PARKING AND ROADWAY AREAS UNLESS OTHERWISE NOTED.
 - SEE DRAWING C-9 FOR PAVEMENT SECTIONS.

PREPARED BY:
RJO'CONNELL & ASSOCIATES, INC.
 CIVIL ENGINEERS, SURVEYORS & LAND PLANNERS
 80 MONTVALE AVENUE, SUITE 201 STONEHAM, MA 02186
 PHONE: 781.279.0180 RJCONNELL.COM

PREPARED FOR:
RT 20 NOMINEE TRUST
 55 CAMBRIDGE PARKWAY, SUITE 200
 CAMBRIDGE, MA 02142
DEMOULAS SUPER MARKETS, INC.
 C/O DSM REALTY, INC.
 881 EAST STREET
 TEWKSBURY, MA 01876

PROJECT NAME:
EDGEMERE CROSSING AT FLINT POND
 SHREWSBURY, MA

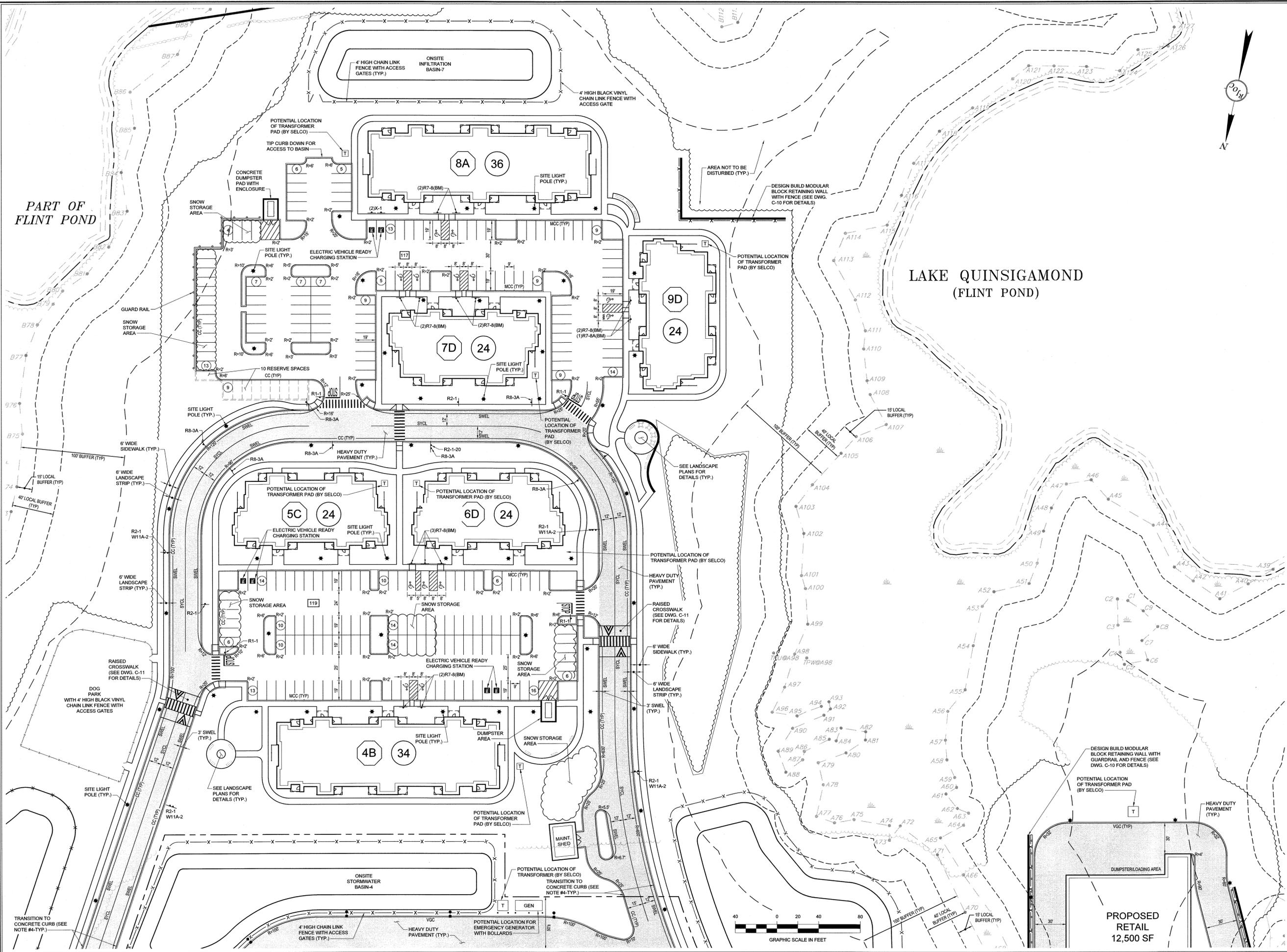


DESIGNED BY: RWS
 DRAWN BY: JIR
 REVIEWED BY: RWS
 SCALE: 1" = 40'
 DATE: 06/19/2019

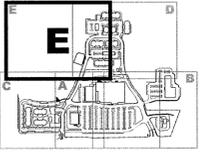
DRAWING NAME:
SITE, PARKING AND TRAFFIC CONTROL PLAN

DRAWING NUMBER:
C-4D

PROJECT NUMBER:
 19015



Drawing name: G:\MASH\Shrewsbury\The Residences at Flint Pond\OVF Management\Main\19015_PTC.dwg
 Mar 10, 2020 - 17:53pm



KEY SHEET

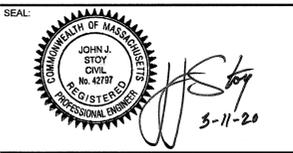
NO.	REVISION	DATE
1	ISSUED FOR SPECIAL PERMIT AND SITE PLAN REVIEW	6/19/2019
2	ISSUED FOR NOTICE OF INTENT	6/27/2019
3	ISSUED FOR SPECIAL PERMIT AND SITE PLAN REVIEW	11/28/2019
4	REISSUED FOR NOI	01/10/2020
5	REISSUED FOR SITE PLAN APPROVAL	03/11/2020

- NOTES:**
- SEE DRAWINGS C-5 THROUGH C-11 FOR DETAILS.
 - SEE DRAWING 14-1 FOR GENERAL NOTES, ABBREVIATIONS AND OVERALL LEGEND.
 - SEE DRAWING C-4E FOR TRAFFIC CONTROL SCHEDULE AND LEGEND.
 - ALL CURBING TO BE VERTICAL GRANITE (VGC) IN COMMERCIAL PARKING AND ROADWAY AREAS AND CONCRETE CURB (CC) IN RESIDENTIAL PARKING AND ROADWAY AREAS UNLESS OTHERWISE NOTED.
 - SEE DRAWING C-9 FOR PAVEMENT SECTIONS.

PREPARED BY:
RJO'CONNELL & ASSOCIATES, INC.
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 80 MONTVALE AVENUE, SUITE 201 STONEHAM, MA 02180
 PHONE: 781.279.0180 RJCONNELL.COM

PREPARED FOR:
RT 20 NOMINEE TRUST
 55 CAMBRIDGE PARKWAY, SUITE 200
 CAMBRIDGE, MA 02142
DEMOULAS SUPER MARKETS, INC.
 C/O DSM REALTY, INC.
 881 EAST STREET
 TEWKSBURY, MA 01876

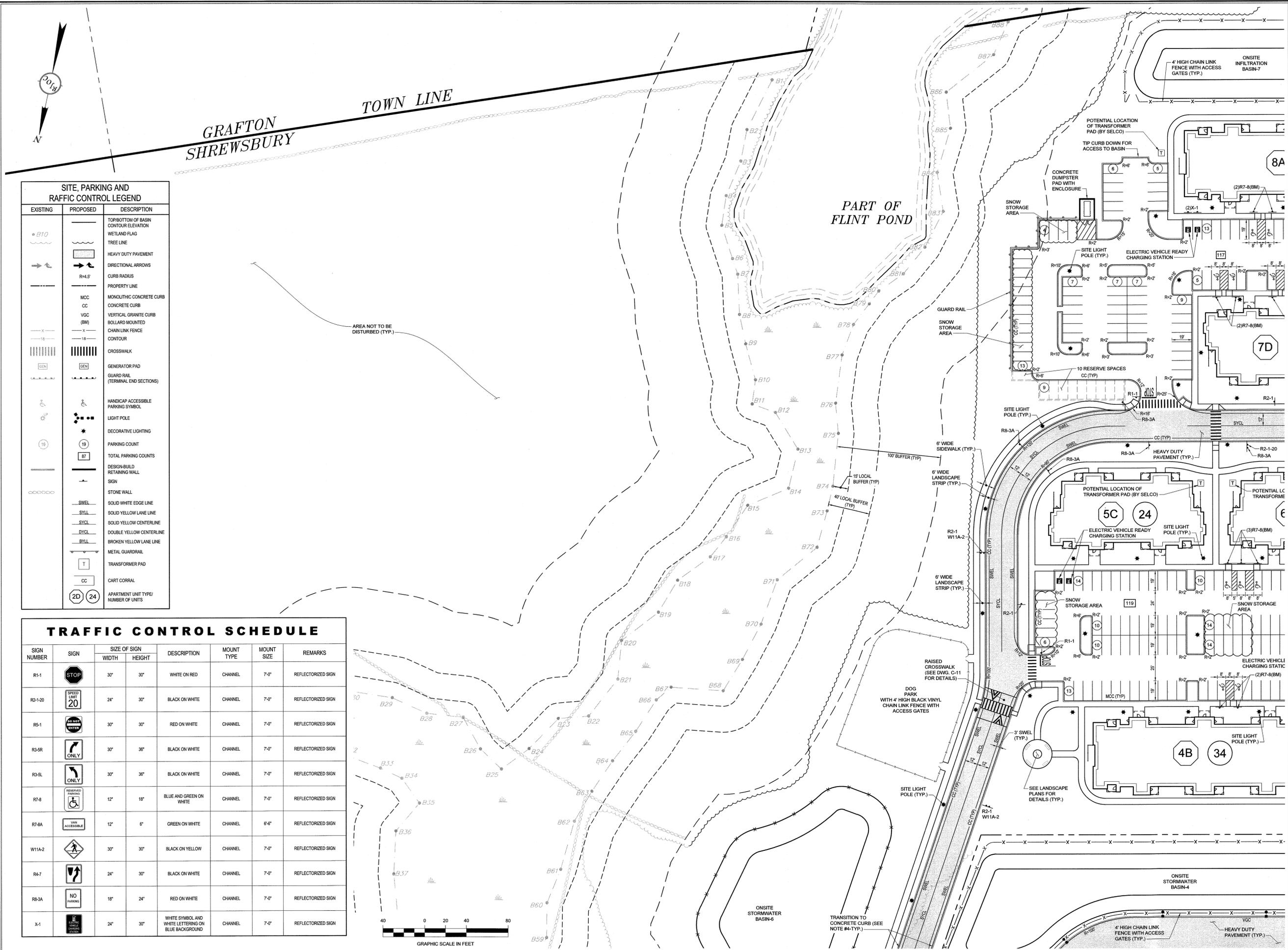
PROJECT NAME:
EDGEMERE CROSSING AT FLINT POND
 SHREWSBURY, MA



DESIGNED BY: RWS
 DRAWN BY: JIR
 REVIEWED BY: RWS
 SCALE: 1" = 40'
 DATE: 06/19/2019

DRAWING NAME:
SITE, PARKING AND TRAFFIC CONTROL PLAN

DRAWING NUMBER:
C-4E
 PROJECT NUMBER: 19015



SITE, PARKING AND TRAFFIC CONTROL LEGEND

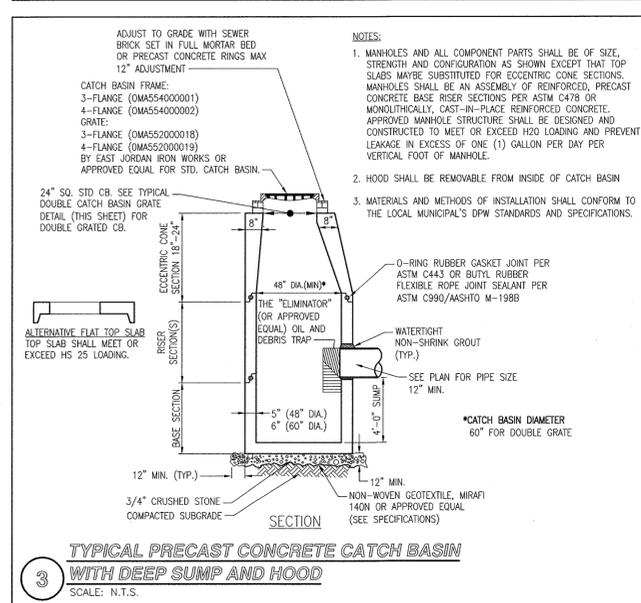
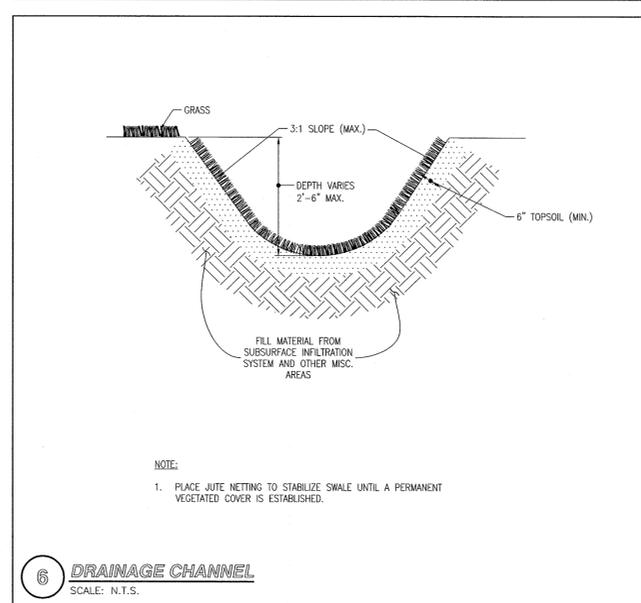
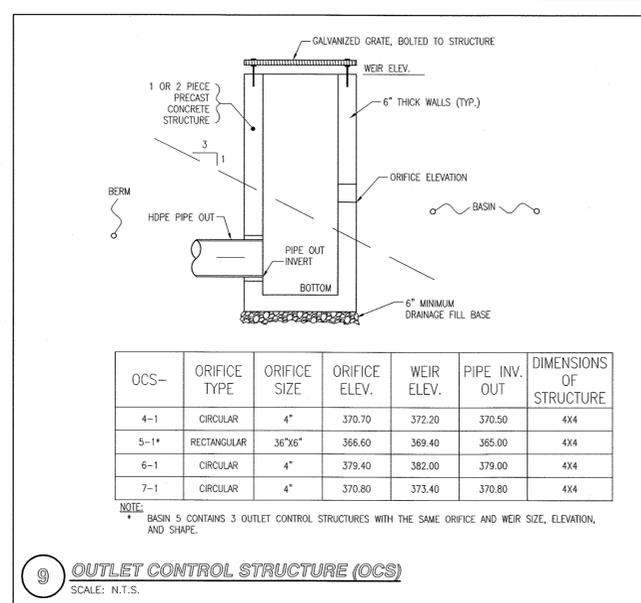
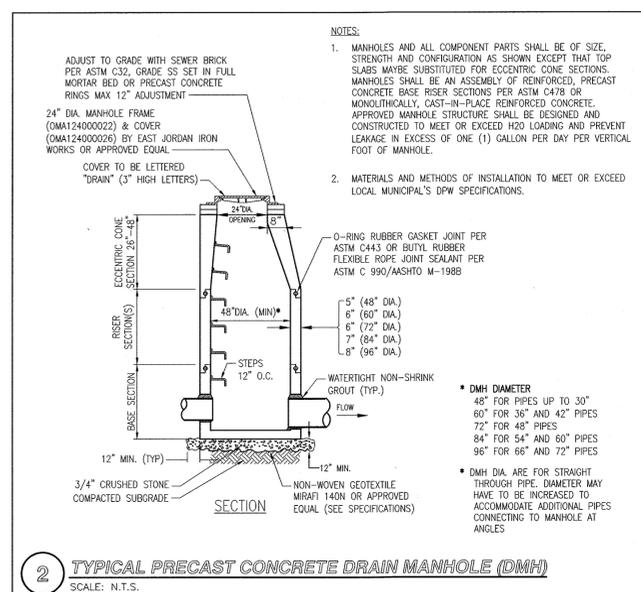
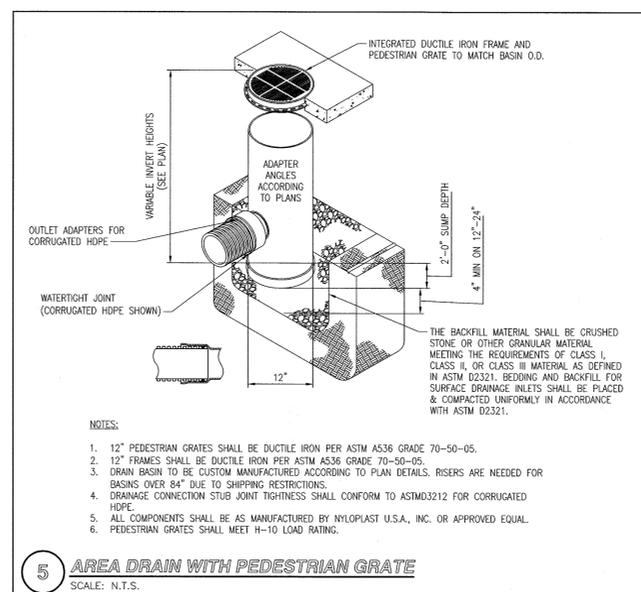
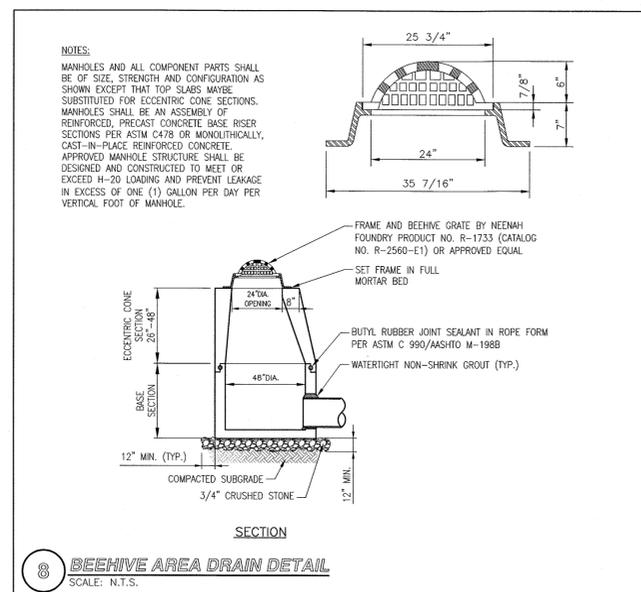
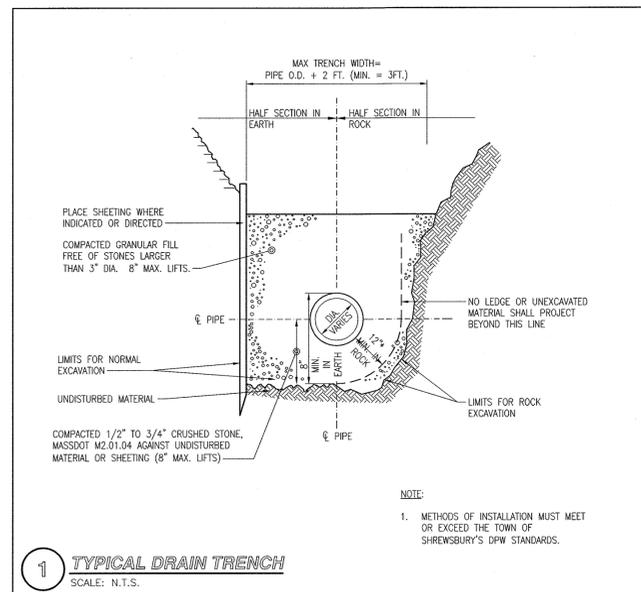
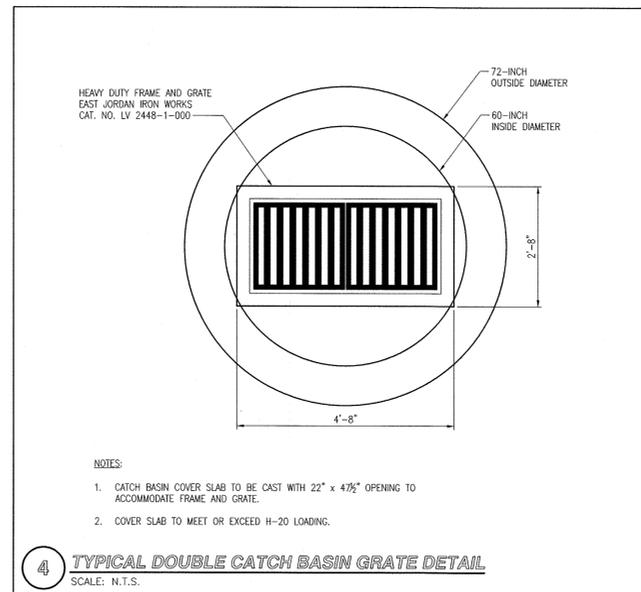
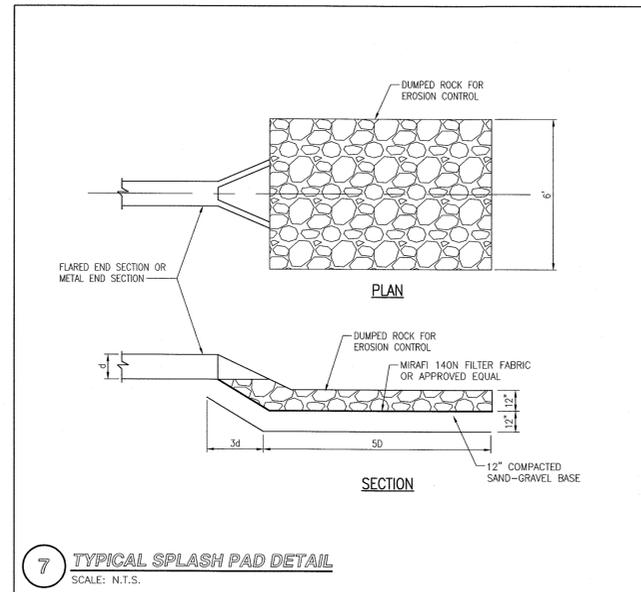
EXISTING	PROPOSED	DESCRIPTION
B10		TOP/BOTTOM OF BASIN CONTOUR ELEVATION
		WETLAND FLAG
		TREE LINE
		HEAVY DUTY PAVEMENT
		DIRECTIONAL ARROWS
		CURB RADIUS
		PROPERTY LINE
		MONOLITHIC CONCRETE CURB
		CONCRETE CURB
		VERTICAL GRANITE CURB
		BOLLARD MOUNTED CHAIN LINK FENCE
		CONTOUR
		CROSSWALK
		GENERATOR PAD
		GUARD RAIL (TERMINAL END SECTIONS)
		HANDICAP ACCESSIBLE PARKING SYMBOL
		LIGHT POLE
		DECORATIVE LIGHTING
		PARKING COUNT
		TOTAL PARKING COUNTS
		DESIGN-BUILD RETAINING WALL
		SIGN
		STONE WALL
		SOLID WHITE EDGE LINE
		SOLID YELLOW LANE LINE
		SOLID YELLOW CENTERLINE
		DOUBLE YELLOW CENTERLINE
		BROKEN YELLOW LANE LINE
		METAL GUARDRAIL
		TRANSFORMER PAD
		CART CORRAL
		APARTMENT UNIT TYPE/NUMBER OF UNITS

TRAFFIC CONTROL SCHEDULE

SIGN NUMBER	SIGN	SIZE OF SIGN		DESCRIPTION	MOUNT TYPE	MOUNT SIZE	REMARKS
		WIDTH	HEIGHT				
R1-1	STOP	30"	30"	WHITE ON RED	CHANNEL	7'-0"	REFLECTORIZED SIGN
R2-1-20	SPEED LIMIT 20	24"	30"	BLACK ON WHITE	CHANNEL	7'-0"	REFLECTORIZED SIGN
R5-1	NO RIGHT TURN	30"	30"	RED ON WHITE	CHANNEL	7'-0"	REFLECTORIZED SIGN
R3-5R	RIGHT TURN ONLY	30"	36"	BLACK ON WHITE	CHANNEL	7'-0"	REFLECTORIZED SIGN
R3-5L	LEFT TURN ONLY	30"	36"	BLACK ON WHITE	CHANNEL	7'-0"	REFLECTORIZED SIGN
R7-8	RESERVED PARKING	12"	18"	BLLIE AND GREEN ON WHITE	CHANNEL	7'-0"	REFLECTORIZED SIGN
R7-8A	VAN ACCESSIBLE	12"	6"	GREEN ON WHITE	CHANNEL	6'-6"	REFLECTORIZED SIGN
W11A-2	WALKING	30"	30"	BLACK ON YELLOW	CHANNEL	7'-0"	REFLECTORIZED SIGN
R4-7	ONE WAY	24"	30"	BLACK ON WHITE	CHANNEL	7'-0"	REFLECTORIZED SIGN
R8-3A	NO PARKING	18"	24"	RED ON WHITE	CHANNEL	7'-0"	REFLECTORIZED SIGN
X-1	RESERVED PARKING	24"	30"	WHITE SYMBOL AND WHITE LETTERING ON BLUE BACKGROUND	CHANNEL	7'-0"	REFLECTORIZED SIGN



Drawing name: G:\MA\Shrewsbury\The Residences at Flint Pond\OVP Management\Main\19015_PTC.dwg
 Mar 10, 2020 - 17:53pm



NO.	DATE	REVISION
1	03/11/2020	ISSUED FOR SPECIAL PERMIT AND SITE PLAN REVIEW
2	07/10/2020	ISSUED FOR NOTICE OF INTENT
3	11/28/2019	ISSUED FOR SPECIAL PERMIT AND SITE PLAN REVIEW
4	06/27/2019	ISSUED FOR NOTICE OF INTENT
5	01/10/2020	ISSUED FOR SPECIAL PERMIT AND SITE PLAN REVIEW

PREPARED BY:
RJO'CONNELL & ASSOCIATES, INC.
CIVIL ENGINEERS, SURVEYORS & LAND PLANNERS
89 MONTVILLE AVENUE, SUITE 201 STONEHAM, MA 02130
PHONE: 781.279.0180 RJCONNELL.COM

PREPARED FOR:
RT 20 NOMINEE TRUST
55 CAMBRIDGE PARKWAY, SUITE 200
CAMBRIDGE, MA 02142

DEMOULAS SUPER MARKETS, INC.
C/O DSM REALTY, INC.
881 EAST STREET
TEWKSBURY, MA 01876

PROJECT NAME:
EDGEMERE CROSSING AT FLINT POND
SHREWSBURY, MA

SEAL:

3-11-20

DESIGNED BY: RWS
DRAWN BY: MSM
REVIEWED BY: RWS
SCALE: NOT TO SCALE
DATE: 06/19/2019
DRAWING NUMBER:

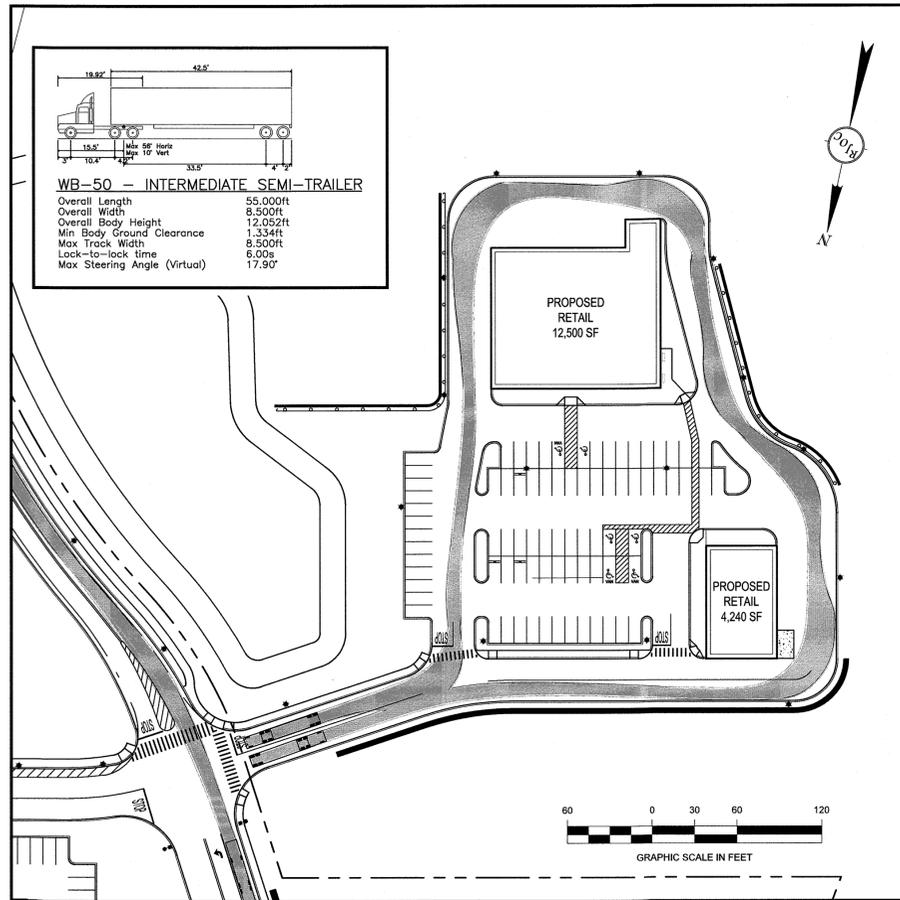
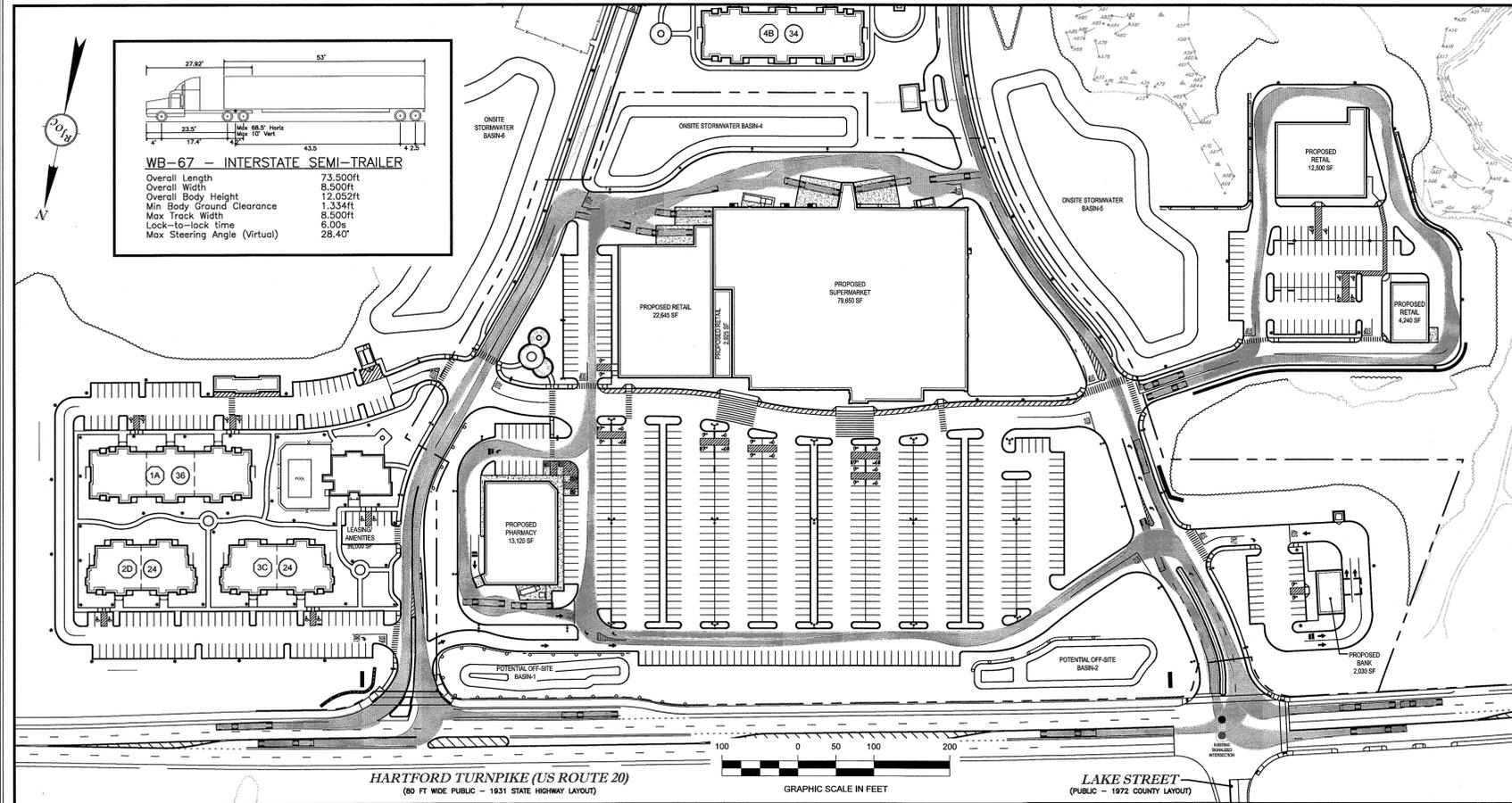
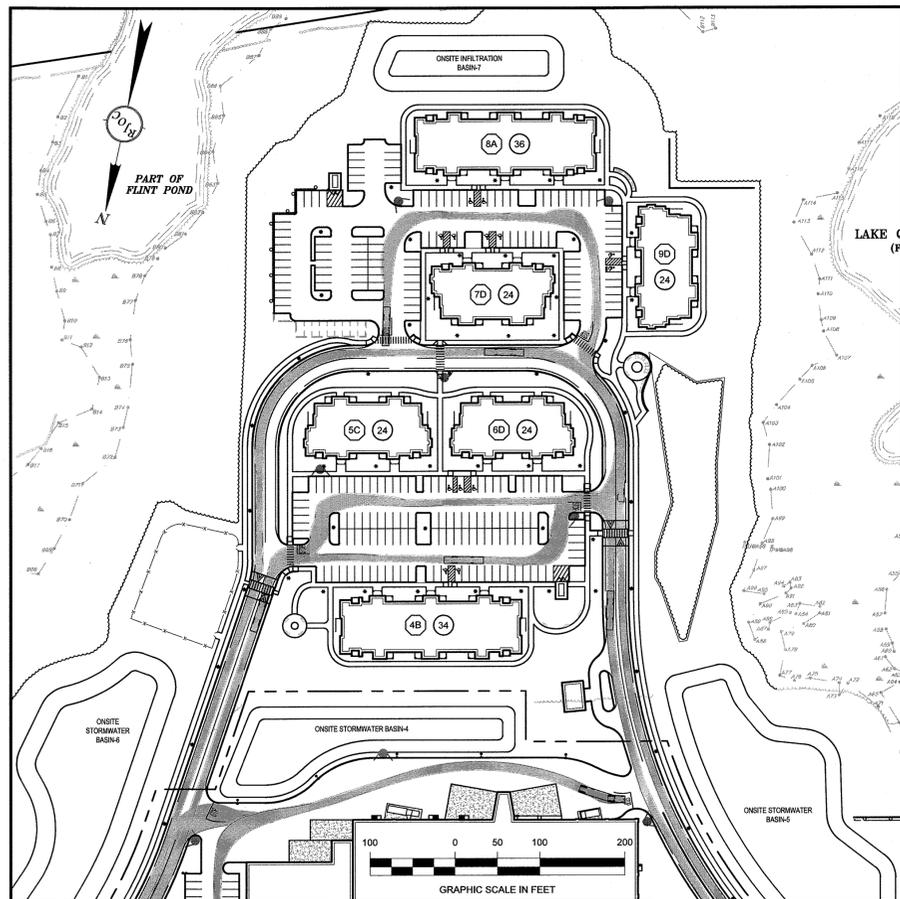
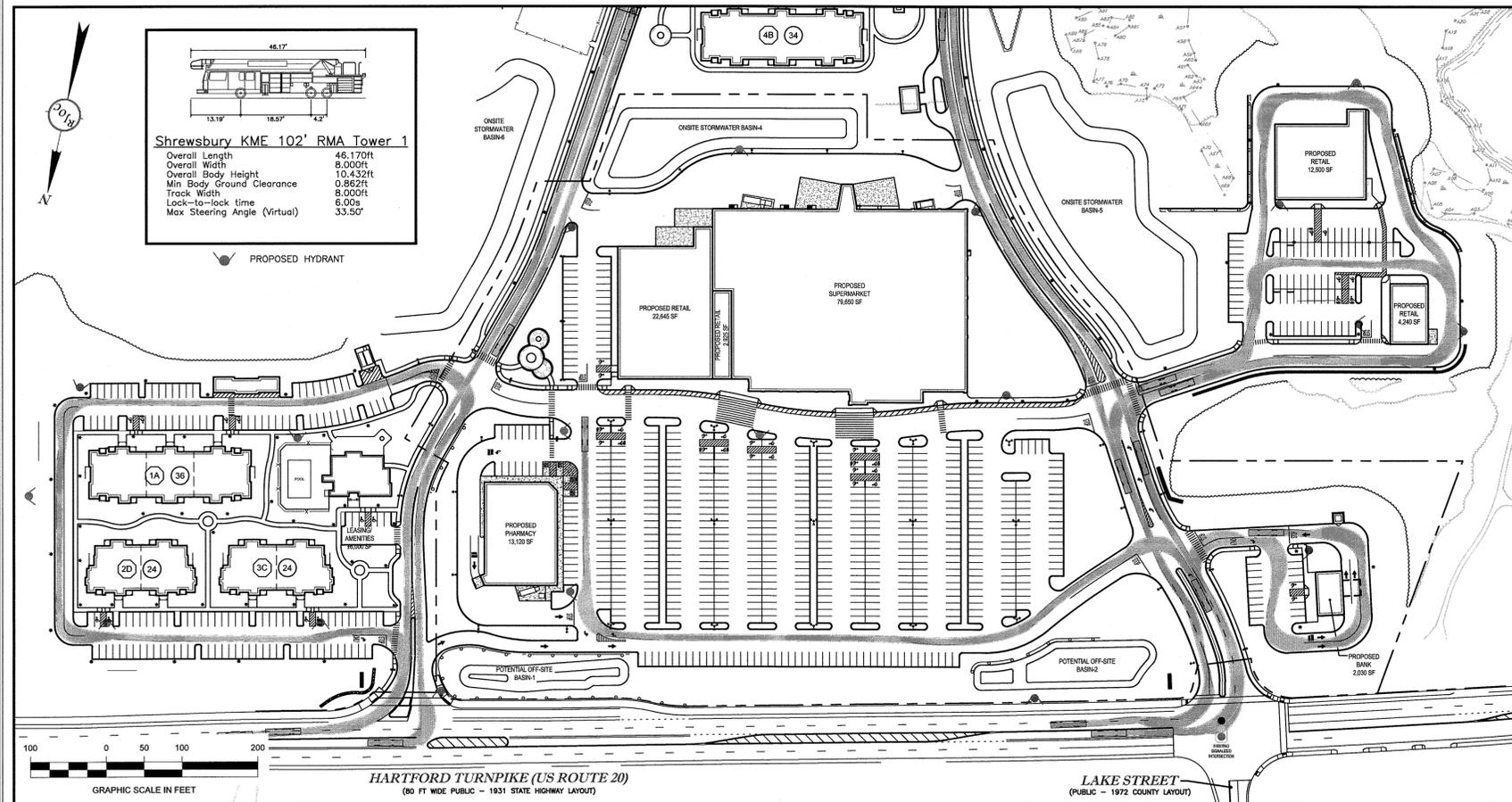
DRAINAGE DETAILS II

DRAWING NUMBER:
C-7

PROJECT NUMBER:
19015

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Drawing name: G:\MA\Shrewsbury\The Residences at Flint Pond\OVP Management\Main\19015_C-7_DRAINAGE DET II.dwg
Mar 09, 2020 - 14:31pm



NO.	REVISION	DATE
2	REISSUED FOR SITE PLAN APPROVAL	03/11/2020
1	REISSUED FOR SPECIAL PERMIT AND SITE PLAN REVIEW	11/26/2019

PREPARED BY:
RJO'CONNELL & ASSOCIATES, INC.
 CIVIL ENGINEERS, SURVEYORS & LAND PLANNERS
 80 MONTVALE AVENUE, SUITE 201 STONEHAM, MA 02180
 PHONE: 781.279.0180 RJOCONELL.COM

PREPARED FOR:
RT 20 NOMINEE TRUST
 55 MONTVALE PARKWAY, SUITE 200
 CAMBRIDGE, MA 02142

DEMOULAS SUPER MARKETS, INC.
 C/O DSM REALTY, INC.
 881 EAST STREET
 TEWKSBURY, MA 01876

PROJECT NAME:
EDGE MERE CROSSING AT FLINT POND
 SHREWSBURY, MA

DESIGNED BY: KPM
 DRAWN BY: RWS
 REVIEWED BY: SEE PLAN
 SCALE: SEE PLAN
 DATE: 07/24/2019
 DRAWING NAME: **VEHICLE MANEUVERING PLAN**

DRAWING NUMBER: **C-12**
 PROJECT NUMBER: **19015**

Drawing name: G:\MA\Shrewsbury\The Residences at Flint Pond\OVP Management\Main\19015_C-12 TRUCK TURNING.dwg
 Mar 09, 2020 - 16:24pm

EDGEMERE CROSSING AT FLINT POND
Shrewsbury, MA
3/11/20

BUILDING DATA - 36 du

BLDG A		2 Building(s)								
Units by Floor	Description	Unit GSF (1) (sq ft)	Balcony Area (sq ft)	Total Unit Area (sq ft)	1st Floor	2nd Floor	3rd Floor	Total	Distribution	
Unit A	1 Bed / 1 Bath Junior	688	63	751						
Unit B	1 Bed / 1 Bath	808	63	871	4	1		5	13.9%	
Unit B1	1 Bed / 1 Bath	812	63	875	1	1	1	3	8.3%	
Unit C	1 Bed-Den / 1 Bath	966	67	1,033		2	3	5	13.9%	
Unit C1	1 Bed-Den / 1 Bath	966	67	1,033		1	1	2	5.6%	
Unit D	2 Bed / 2 Bath	1,143	64	1,207	3	3	3	9	25.0%	
Unit E	2 Bed / 2 Bath End	1,052	61	1,113	4	4	4	12	33.3%	
Unit F	2 Bed / 2 Bath End	1,166	62	1,228						
Totals					12	12	12	36	100.0%	

Unit Area Totals by Building	Unit GSF (1) (sq ft)	Balcony Area (sq ft)	Total Unit Area (sq ft)
Unit A	-	-	-
Unit B	4,040	315	4,355
Unit B1	2,436	189	2,625
Unit C	4,830	335	5,165
Unit C1	1,932	134	2,066
Unit D	10,287	576	10,863
Unit E	12,624	732	13,356
Unit F	-	-	-
Totals			36,149

Note 1: Per ANS/BOMA 265.4-2010
Note 2: Unit GSF + Common area
Note 3: Unit GSF / Total Floor Area

Building Totals	Unit GSF (1) (sq ft)	Balcony Area (sq ft)	Total Unit Area (sq ft)	Common Area (sq ft)	Total Floor Area (2)	Rentable to Gross (3)
1st Floor	11,681	751	12,432	2,073	13,754	84.9%
2nd Floor	12,155	763	12,918	1,471	13,626	89.2%
3rd Floor	12,313	767	13,080	1,313	13,626	90.4%
Totals						88.2%

EDGEMERE CROSSING AT FLINT POND
Shrewsbury, MA
3/11/20

BUILDING DATA - 34 du with Maintenance/Storage

BLDG B		1 Building(s)								
Units by Floor	Description	Unit GSF (1) (sq ft)	Balcony Area (sq ft)	Total Unit Area (sq ft)	1st Floor	2nd Floor	3rd Floor	Total	Distribution	
Unit A	1 Bed / 1 Bath Junior	688	63	751						
Unit B	1 Bed / 1 Bath	808	63	871	4	1		5	14.7%	
Unit B1	1 Bed / 1 Bath	812	63	875		1	1	2	5.9%	
Unit C	1 Bed-Den / 1 Bath	966	67	1,033		2	3	5	14.7%	
Unit C1	1 Bed-Den / 1 Bath	966	67	1,033		1	1	2	5.9%	
Unit D	2 Bed / 2 Bath	1,143	64	1,207	2	3	3	8	23.5%	
Unit E	2 Bed / 2 Bath End	1,052	61	1,113	4	4	4	12	35.3%	
Unit F	2 Bed / 2 Bath End	1,166	62	1,228						
Totals					10	12	12	34	100.0%	

Unit Area Totals by Building	Unit GSF (1) (sq ft)	Balcony Area (sq ft)	Total Unit Area (sq ft)
Unit A	-	-	-
Unit B	4,040	315	4,355
Unit B1	1,624	126	1,750
Unit C	4,830	335	5,165
Unit C1	1,932	134	2,066
Unit D	9,144	512	9,656
Unit E	12,624	732	13,356
Unit F	-	-	-
Totals			34,194

Note 1: Per ANS/BOMA 265.4-2010
Note 2: Unit GSF + Common area
Note 3: Unit GSF / Total Floor Area

Building Totals	Unit GSF (1) (sq ft)	Balcony Area (sq ft)	Total Unit Area (sq ft)	Common Area (sq ft)	Total Floor Area (2)	Rentable to Gross (3)
1st Floor	9,726	624	10,350	4,028	13,754	70.7%
2nd Floor	12,155	763	12,918	1,471	13,626	89.2%
3rd Floor	12,313	767	13,080	1,313	13,626	90.4%
Totals						83.4%

EDGEMERE CROSSING AT FLINT POND
Shrewsbury, MA
3/11/20

BUILDING DATA - 24 du

BLDG C		2 Building(s)								
Units by Floor	Description	Unit GSF (1) (sq ft)	Balcony Area (sq ft)	Total Unit Area (sq ft)	1st Floor	2nd Floor	3rd Floor	Total	Distribution	
Unit A	1 Bed / 1 Bath Junior	688	63	751						
Unit B	1 Bed / 1 Bath	808	64	872	4	2	2	8	33.3%	
Unit B1	1 Bed / 1 Bath	812	64	876						
Unit C	1 Bed-Den / 1 Bath	966	67	1,033		2	2	4	16.7%	
Unit C1	1 Bed-Den / 1 Bath	966	67	1,033						
Unit D	2 Bed / 2 Bath	1,143	64	1,207	2	2	2	6	25.0%	
Unit E	2 Bed / 2 Bath End	1,052	61	1,113						
Unit F	2 Bed / 2 Bath End	1,166	62	1,228	2	2	2	6	25.0%	
Totals					8	8	8	24	100.0%	

Unit Area Totals by Building	Unit GSF (1) (sq ft)	Balcony Area (sq ft)	Total Unit Area (sq ft)
Unit A	-	-	-
Unit B	6,464	512	6,976
Unit B1	-	-	-
Unit C	3,864	268	4,132
Unit C1	-	-	-
Unit D	6,858	384	7,242
Unit E	-	-	-
Unit F	6,996	372	7,368
Totals			24,182

Note 1: Per ANS/BOMA 265.4-2010
Note 2: Unit GSF + Common area
Note 3: Unit GSF / Total Floor Area

Building Totals	Unit GSF (1) (sq ft)	Balcony Area (sq ft)	Total Unit Area (sq ft)	Common Area (sq ft)	Total Floor Area (2)	Rentable to Gross (3)
1st Floor	7,850	508	8,358	1,111	8,961	87.6%
2nd Floor	8,166	514	8,680	701	8,867	92.1%
3rd Floor	8,166	514	8,680	701	8,867	92.1%
Totals						90.6%

EDGEMERE CROSSING AT FLINT POND
Shrewsbury, MA
3/11/20

BUILDING DATA - 24 du with Jr. 1 Bedrooms

BLDG D		4 Building(s)								
Units by Floor	Description	Unit GSF (1) (sq ft)	Balcony Area (sq ft)	Total Unit Area (sq ft)	1st Floor	2nd Floor	3rd Floor	Total	Distribution	
Unit A	1 Bed / 1 Bath Junior	688	63	751		2	2	4	25.0%	
Unit B	1 Bed / 1 Bath	808	63	871	2	1	1	4	16.7%	
Unit B1	1 Bed / 1 Bath	812	63	875						
Unit C	1 Bed-Den / 1 Bath	966	67	1,033		1	1	2	8.3%	
Unit C1	1 Bed-Den / 1 Bath	966	67	1,033						
Unit D	2 Bed / 2 Bath	1,143	64	1,207	2	2	2	6	25.0%	
Unit E	2 Bed / 2 Bath End	1,052	61	1,113						
Unit F	2 Bed / 2 Bath End	1,166	62	1,228	2	2	2	6	25.0%	
Totals					8	8	8	24	100.0%	

Unit Area Totals by Building	Unit GSF (1) (sq ft)	Balcony Area (sq ft)	Total Unit Area (sq ft)
Unit A	4,128	378	4,506
Unit B	3,232	252	3,484
Unit B1	-	-	-
Unit C	1,932	134	2,066
Unit C1	-	-	-
Unit D	6,858	384	7,242
Unit E	-	-	-
Unit F	6,996	372	7,368
Totals			23,146

Note 1: Per ANS/BOMA 265.4-2010
Note 2: Unit GSF + Common area
Note 3: Unit GSF / Total Floor Area

Building Totals	Unit GSF (1) (sq ft)	Balcony Area (sq ft)	Total Unit Area (sq ft)	Common Area (sq ft)	Total Floor Area (2)	Rentable to Gross (3)
1st Floor	7,610	504	8,114	1,110	8,720	87.3%
2nd Floor	7,768	508	8,276	858	8,626	90.1%
3rd Floor	7,768	508	8,276	858	8,626	90.1%
Totals						89.1%

EDGEMERE CROSSING AT FLINT POND
Shrewsbury, MA
3/11/20

PROJECT DATA

Units by Project	Description	Unit GSF (1) (sq ft)	BLDG A	BLDG B	BLDG C	BLDG D	TOTAL	Percent of Total	Total Bedrooms				
Unit A	1 Bed / 1 Bath Junior	688	-	-	-	24	24	9.6%	24				
Unit B	1 Bed / 1 Bath	808	10	5	16	16	47	18.8%	47				
Unit B1	1 Bed / 1 Bath	812	6	2	-	-	8	3.2%	8				
Unit C	1 Bed-Den / 1 Bath	966	10	5	8	8	31	12.4%	31				
Unit C1	1 Bed-Den / 1 Bath	966	4	2	-	-	6	2.4%	6				
Unit D	2 Bed / 2 Bath	1,143	18	8	12	24	62	24.8%	124				
Unit E	2 Bed / 2 Bath End	1,052	24	12	-	-	36	14.4%	72				
Unit F	2 Bed / 2 Bath End	1,166	-	12	24	-	36	14.4%	72				
Totals							72	34	48	96	250	100.0%	384

Unit Area Totals by Project	Unit GSF (1) (sq ft)	Distribution
Unit A	16,512	6.7%
Unit B	37,976	15.3%
Unit B1	6,496	2.6%
Unit C	29,946	12.1%
Unit C1	5,796	2.3%
Unit D	70,866	28.6%
Unit E	37,872	15.3%
Unit F	41,976	17.0%
Totals		247,440

Note 1: Per ANS/BOMA 265.4-2010
Note 2: Unit GSF + Common area
Note 3: Unit GSF / Total Floor Area

Building Totals by Project	Unit GSF (1) (sq ft)	Common Area (sq ft)	Total Floor Area (2)	Rentable to Gross (3)
Residential Building(s)	247,440	32,856	280,296	88.3%
Garage(s)	-	-	1,806	-
Clubhouse	-	-	4,259	-
Mail Kiosk	-	-	150	-
Totals				286,511



2045 Route 35
Wall, New Jersey 07719
856.429.2001

seal



Timothy F. Wentz, AIA
State of Massachusetts
Registration # 10478
Expires: 08/31/2021

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revisions

#01: Reissued for Site Plan Approval Dated 3/11/2020

project

Route 20 Nominee Trust
55 Cambridge Parkway, Suite 200
Cambridge, MA 02142

EDGEMERE CROSSING AT FLINT POND

Shrewsbury, Massachusetts

date: 03/11/2020

scale: no scale

drawn by: EM

project manager: Michael Mastrocola, AIA

project architect: Timothy F. Wentz, AIA

project number: G17-1909

file:

drawing no. and title



UNIT MIX

seal



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55 Cambridge Parkway, Suite 200
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EDGEMERE CROSSING AT FLINT POND

Shrewsbury, Massachusetts

date: 03/11/2020

scale: 1/16" = 1'-0"

drawn by: EM

project manager: Michael Mastrocola, AIA

project architect: Timothy F. Wentz, AIA

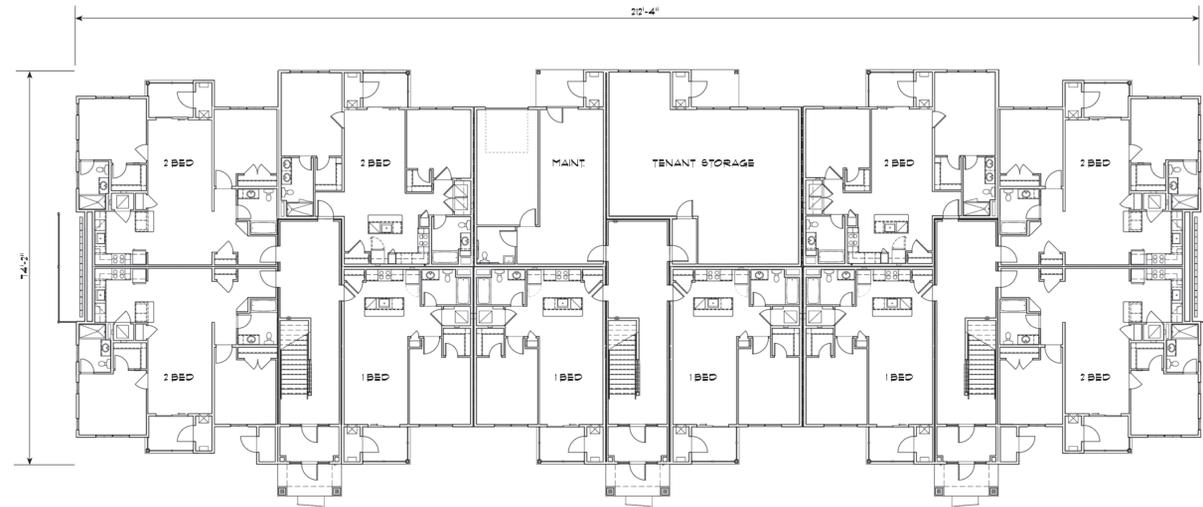
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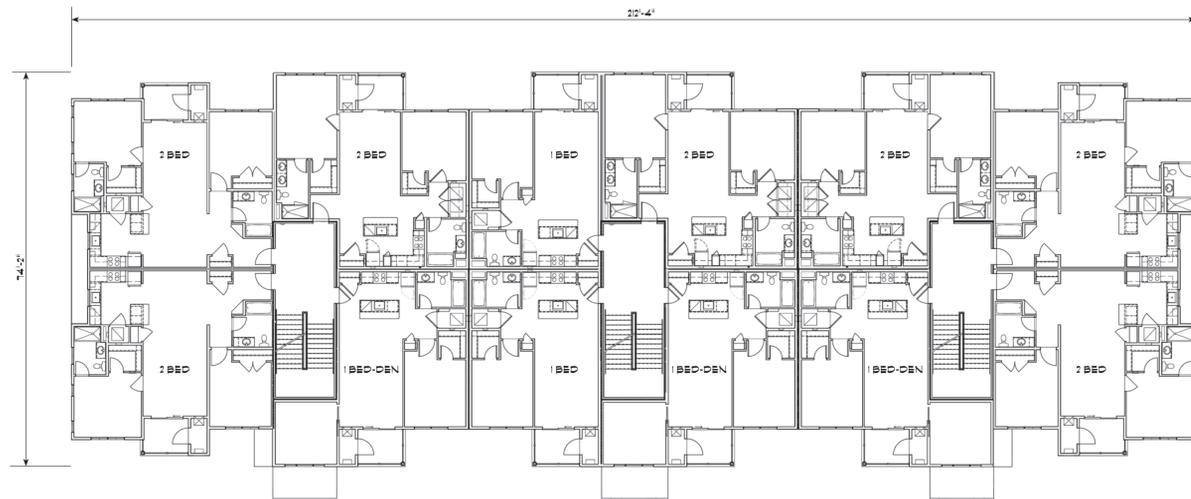
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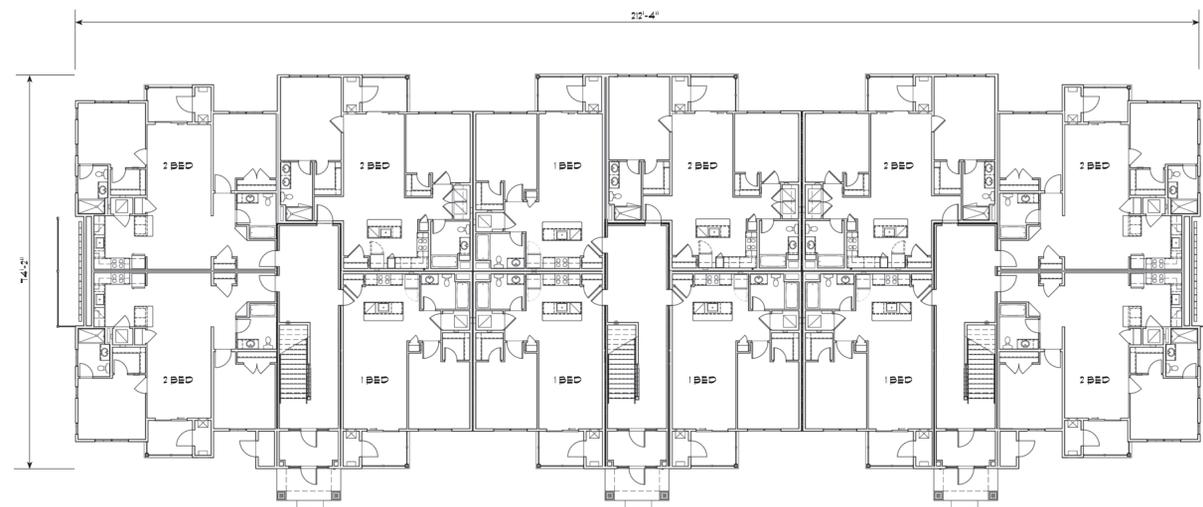
**BUILDING TYPES A & B
FLOOR PLANS**



BUILDING TYPE B FIRST FLOOR
34 UNITS - 1 BUILDING



BUILDING TYPES A & B SECOND & THIRD FLOORS
34 & 36 UNITS



BUILDING TYPE A FIRST FLOOR
36 UNITS - 2 BUILDINGS

seal



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Cambridge, MA 02142

EDGEMERE CROSSING AT FLINT POND

Shrewsbury, Massachusetts

date: 03/11/2020

scale: 1/16" = 1'-0"

drawn by: EM

project manager: Michael Mastrocola, AIA

project architect: Timothy F. Wentz, AIA

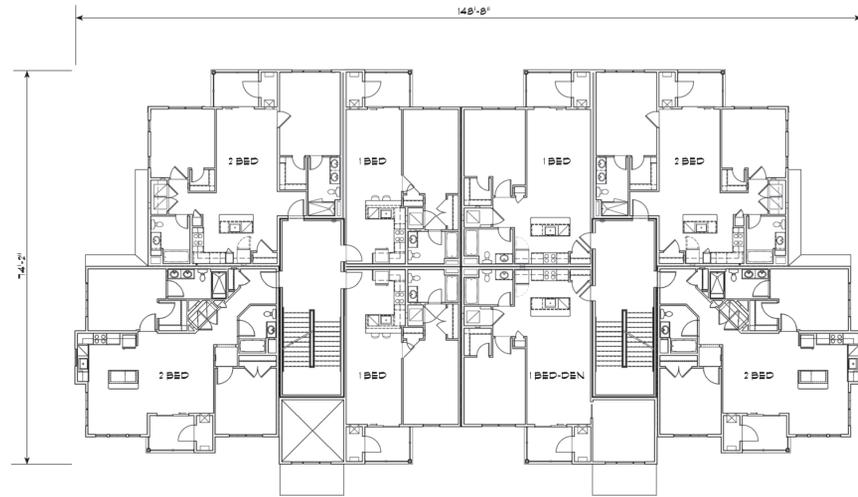
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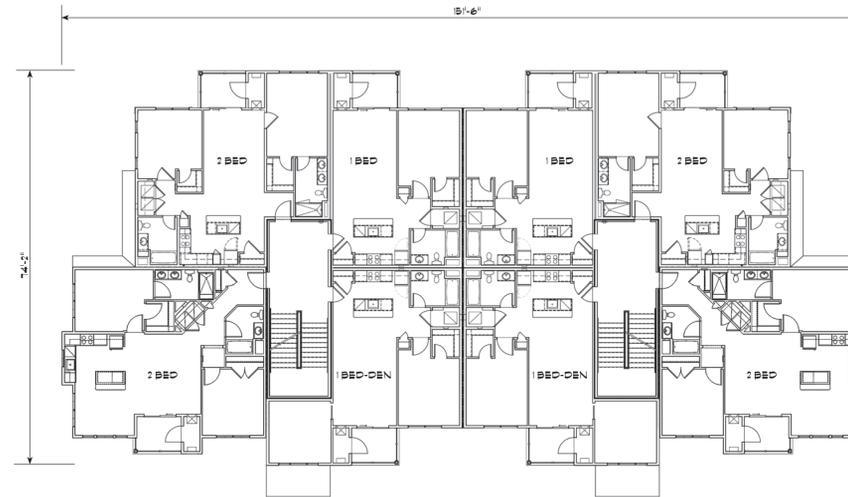
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A-101

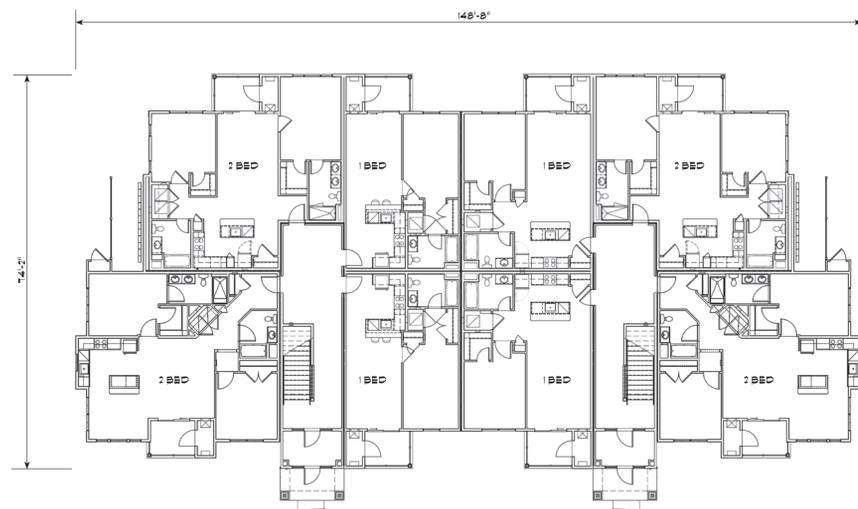
**BUILDING TYPES C & D
FLOOR PLANS**



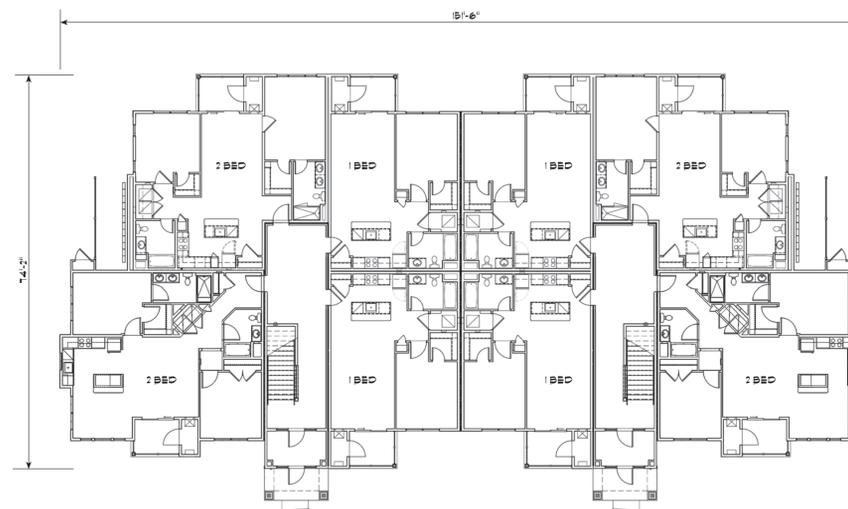
BUILDING TYPE D SECOND & THIRD FLOORS
24 UNITS



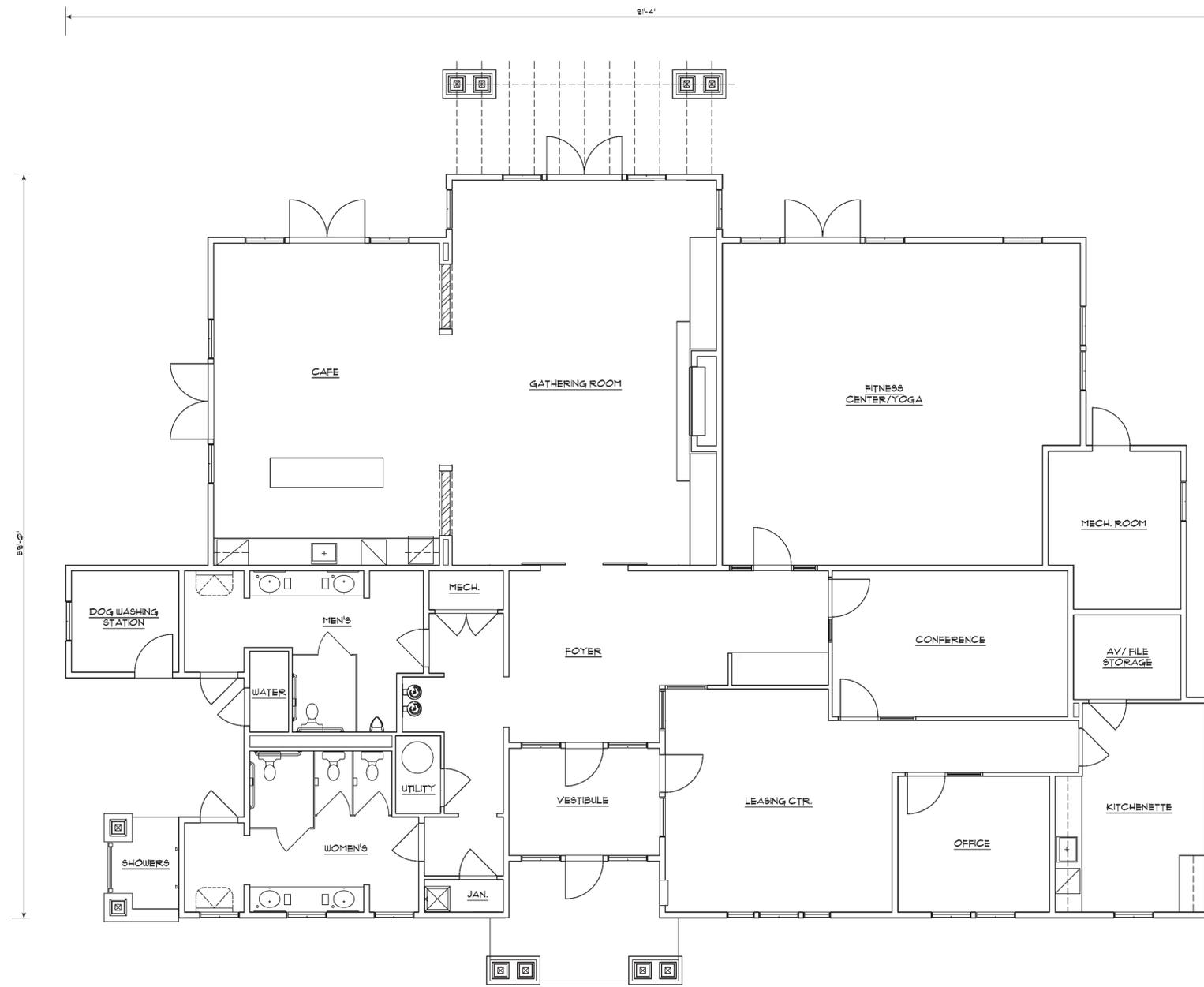
BUILDING TYPE C SECOND & THIRD FLOORS
24 UNITS



BUILDING TYPE D FIRST FLOOR
24 UNITS - 4 BUILDINGS



BUILDING TYPE C FIRST FLOOR
24 UNITS - 2 BUILDINGS



CLUBHOUSE FLOOR PLAN

seal



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Route 20 Nominee Trust
55 Cambridge Parkway, Suite 200
Cambridge, MA 02142

EDGEMERE CROSSING AT FLINT POND

Shrewsbury, Massachusetts

date: 03/11/2020

scale: 3/16" = 1'-0"

drawn by: EM

project manager: Michael Mastrocola, AIA

project architect: Timothy F. Wentz, AIA

project number: G17-1909

file:

drawing no. and title

A-102

**CLUBHOUSE
FLOOR PLAN**

seal



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55 Cambridge Parkway, Suite 200
Cambridge, MA 02142

EDGEMERE CROSSING AT FLINT POND

Shrewsbury, Massachusetts

date: 03/11/2020

scale: 1/8" = 1'-0"

drawn by: EM

project manager: Michael Mastrocola, AIA

project architect: Timothy F. Wentz, AIA

project number: G17-1909

file:

drawing no. and title

A-200

BUILDING TYPE A & B
CONCEPTUAL ELEVATIONS



BUILDING TYPES A & B FRONT ELEVATION



BUILDING TYPES A & B SIDE ELEVATIONS

seal



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Cambridge, MA 02142

EDGEMERE CROSSING AT FLINT POND

Shrewsbury, Massachusetts

date: 03/11/2020

scale: 1/8" = 1'-0"

drawn by: EM

project manager: Michael Mastrocola, AIA

project architect: Timothy F. Wentz, AIA

project number: G17-1909

file:

drawing no. and title

A-202

BUILDING TYPE C & D
CONCEPTUAL ELEVATIONS



BUILDING TYPES C & D FRONT ELEVATION



BUILDING TYPES C & D SIDE ELEVATIONS

seal



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revisions

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project

Route 20 Nominee Trust
55 Cambridge Parkway, Suite 200
Cambridge, MA 02142

EDGEMERE CROSSING AT FLINT POND

Shrewsbury, Massachusetts

date: 03/11/2020

scale: 3/16" = 1'-0"

drawn by: EM

project manager: Michael Mastrocola, AIA

project architect: Timothy F. Wentz, AIA

project number: G17-1909

file:

drawing no. and title

A-210

**CLUBHOUSE
CONCEPTUAL ELEVATIONS**

CULTURED STONE STANDING BEAM MTL ROOF ASPHALT SHINGLES 4" LAP SIDING



CLUBHOUSE FRONT ELEVATION



CLUBHOUSE REAR ELEVATION

seal



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project

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55 Cambridge Parkway, Suite 200
Cambridge, MA 02142

EDGEMERE CROSSING AT FLINT POND

Shrewsbury, Massachusetts

date: 03/11/2020

scale: 3/16" = 1'-0"

drawn by: EM

project manager: Michael Mastrocola, AIA

project architect: Timothy F. Wentz, AIA

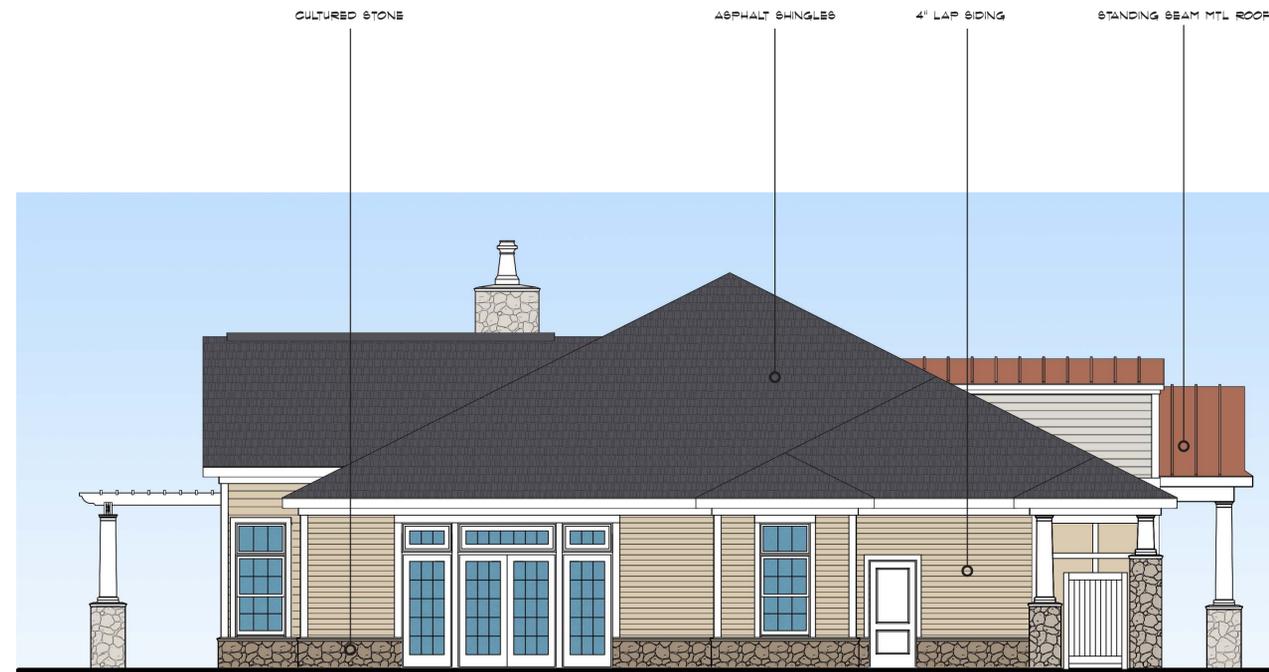
project number: G17-1909

file:

drawing no. and title

A-210.5

**CLUBHOUSE
CONCEPTUAL ELEVATIONS**



CLUBHOUSE LEFT ELEVATION



CLUBHOUSE RIGHT ELEVATION

seal



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Cambridge, MA 02142

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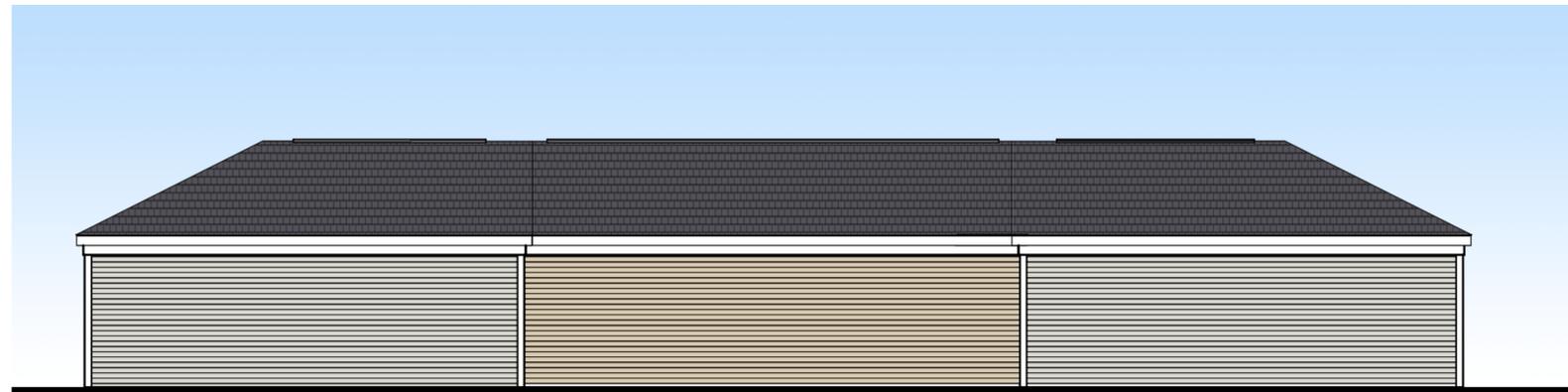
project number: G17-1909

file:

drawing no. and title

A-212

**RESIDENTIAL GARAGE DESIGN
WITH HC STALL & BIKE STORAGE**



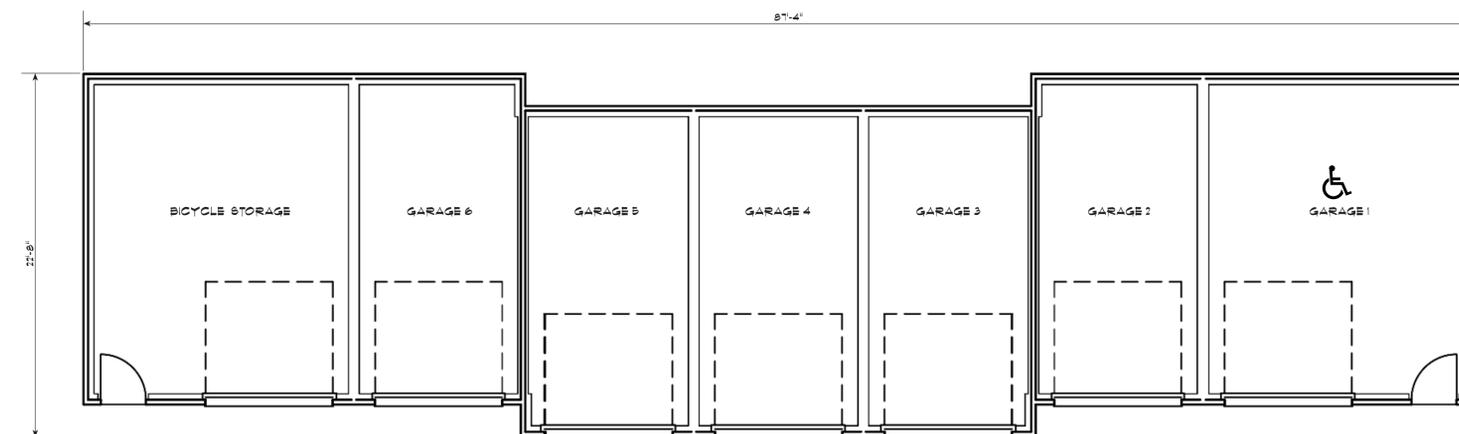
GARAGE REAR ELEVATION



GARAGE SIDE ELEVATIONS



GARAGE FRONT ELEVATION



GARAGE PLAN



1

LAP SIDING
4" EXPOSURE
"SAVANNAH WICKER"



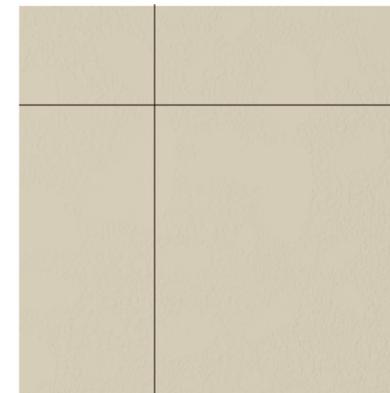
2

LAP SIDING
6" EXPOSURE
"STERLING GRAY"



3

SHINGLES
7" EXPOSURE
"SABLE BROWN"



4

SOLID PANELS
4" EXPOSURE
"SAVANNAH WICKER"

seal



Timothy F. Wentz, AIA
State of Massachusetts
Registration # 10478
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Route 20 Nominee Trust
55 Cambridge Parkway, Suite 200
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EDGEMERE CROSSING AT FLINT POND

Shrewsbury, Massachusetts

date: 03/11/2020

scale: 3/16" = 1'-0"

drawn by: EM

project manager: Michael Mastrocola, AIA

project architect: Timothy F. Wentz, AIA

project number: G17-1909

file:

drawing no. and title

A-260

CONCEPTUAL MATERIALS